



**New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 2 : Assessment of Effects (Version 1.0)**



HPO USE ONLY

NEP0233	NEP0233		
<b>Applicant Name:</b>	127 Valley Road Condominium Development		
<b>Street Address:</b>	127 Valley Road		
<b>Municipality:</b>	Township of Montclair	<b>County:</b>	Essex
<b>PAMS PIN:</b>	0713_1509_40		
<b>Latitude:</b>	40.821586	<b>Longitude:</b>	-74.219142

<b>Undertaking:</b>	<input type="checkbox"/> Rehabilitation:	<input type="checkbox"/> Interior	<input type="checkbox"/> Exterior	<input type="checkbox"/> Both	<input type="checkbox"/> Elevation
	<input checked="" type="checkbox"/> Reconstruction:	<input type="checkbox"/> Within Existing Footprint, plus 2 feet		<input checked="" type="checkbox"/> Outside Existing Footprint	
<b>Property Description:</b>	The property contains a one-story building that is occupied by multiple retail businesses. A paved parking area and two one-story garage/storage buildings are located behind the building. The building has a brick façade with stucco and half-timbering details. It has a side-gabled roof with front-gabled pediments, clad with asphalt shingles. Brick parapets correspond to the division of retail space within the building. No construction date was provided by the applicant however, according to the county tax board website, the building was constructed in 1925. The area immediately surrounding the building is primarily residential, developed with late 19 <sup>th</sup> to early 20 <sup>th</sup> century dwellings.				

<b>Current Property Status</b>	
National Historic Landmark?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
National Register of Historic Places Listed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Within a National Register of Historic Places Historic District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	<input type="checkbox"/> Contributing <input type="checkbox"/> Non-Contributing
Does the property have a SHPO Opinion or COE?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Within a Known Archaeological Site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Within an Area of High Archaeological Sensitivity?	<input checked="" type="checkbox"/> Area of Previous Historic Occupation <input type="checkbox"/> Property Located within HPO's Archaeological Site Sensitivity Grid <input type="checkbox"/> Area Located on Well-Drained Soils located within 500 feet of waterways, wetland complexes, or relict glacial features.

<b>Preliminary Property Evaluation</b>	
<input checked="" type="checkbox"/> Further Survey Necessary:	<input checked="" type="checkbox"/> Archaeological <input type="checkbox"/> Historic Architecture
<input type="checkbox"/> No Further Survey Necessary	
<input type="checkbox"/> Recommend Eligible:	<input type="checkbox"/> Individual <input type="checkbox"/> Contributing to:
	Criteria: [Check All That Apply] <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D

<b>Reasoning:</b>	The property currently contains a one-story building with vacant land in the rear of the property. Proposed plans indicate the rear vacant lot will be subdivided and redeveloped into three residential duplexes resulting in substantial ground disturbance. Review of the historic maps indicates a dwelling was located in the current location of the retail building as early as 1880 (E. Robinson 1880). The building is present again 1891 (E. Robinson) and 1907 (Sanborn 1907). In 1891 an auxiliary building appears in the rear portion of the lot adjacent to Day Street. Similarly, by 1891 a dwelling (still present) is located fronting Talbot Street adjacent to the present day subject property. As a result of the documented historic occupation surrounding the area, archaeological sensitivity for historic-period archeological resources is considered moderate to high. Since proposed ground disturbance will impact these areas, archaeological testing is recommended to determine the presence and/or absence of such archaeological resources to exist. Additional consultation with NJHPO is recommended. Regarding historic architecture, the building does not appear to be individually eligible.
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<input checked="" type="checkbox"/> Recommend Ineligible:	<input checked="" type="checkbox"/> Lacks Integrity of Materials/Design <input type="checkbox"/> Not 48 Years of Age <input checked="" type="checkbox"/> Not Within / In View of a National Register of Historic Places Listed / Eligible Historic District <input type="checkbox"/> Not a Building (per FEMA Definition) <input checked="" type="checkbox"/> Other – Lacks Distinctive Characteristics That Make It Individually Eligible for Listing on NRHP
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Architecture Reviewer	Andrea Burk	Archaeology Reviewer	Brock Giordano
Date Reviewed	March 13, 2014		

Required Documentation:  Historic Properties Map  Soils Map  USGS Quad  Property Photos



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<b>Applicant ID #</b>	NEP0233
<b>Property Address:</b>	127 Valley Road, Township of Montclair

<b>Assessment of Effects</b>	<input type="checkbox"/> No Historic Properties Adversely Affected	
	<input type="checkbox"/> No Historic Properties Adversely Affected, provided the following conditions are met:	
	<input checked="" type="checkbox"/> Adverse Effect	See discussion under "Treatment Measure" below.

<b>National Historic Landmark Consultation Process [If Applicable]</b>			
Undertaking Located Within NHL :	<input type="checkbox"/> National Park Service		
Applying Allowances As Defined in Programmatic Agreement:	<input type="checkbox"/> National Park Service	<input type="checkbox"/> State Historic Preservation Office	
	Tier I:		
	Tier II:		
Adverse Effect:	<input type="checkbox"/> National Park Service	<input type="checkbox"/> State Historic Preservation Office	<input type="checkbox"/> Advisory Council on Historic Preservation

<b>Resolution of Adverse Effects</b>	<input type="checkbox"/> Abbreviated Consultation Process	<b>Treatment Measure:</b>	Additional consultation with NJHPO is required; however, following NJDEP's recommended standard mitigation treatment, the property may be treated as an eligible resource, with an assumed adverse effect and a monetary award would be set aside in a mitigation account. Additional written consultation would be required to document this finding.
	<input type="checkbox"/> Memorandum of Agreement		
	<input type="checkbox"/> Programmatic Agreement		

<b>Public Consultation</b>	
Federally Recognized Tribes, Certified Local Governments, Historic Preservation Commissions, etc:	

<b>HISTORIC PRESERVATION OFFICE USE ONLY</b>	
<input type="checkbox"/> I concur with this finding,	
<input type="checkbox"/> I do not concur with this finding for the following reason(s):	
Daniel D. Saunders Deputy State Historic Preservation Officer	Date

Architecture Reviewer	Andrea Burk	Archaeology Reviewer	Brock Giordano
Date Reviewed	March 13, 2014		

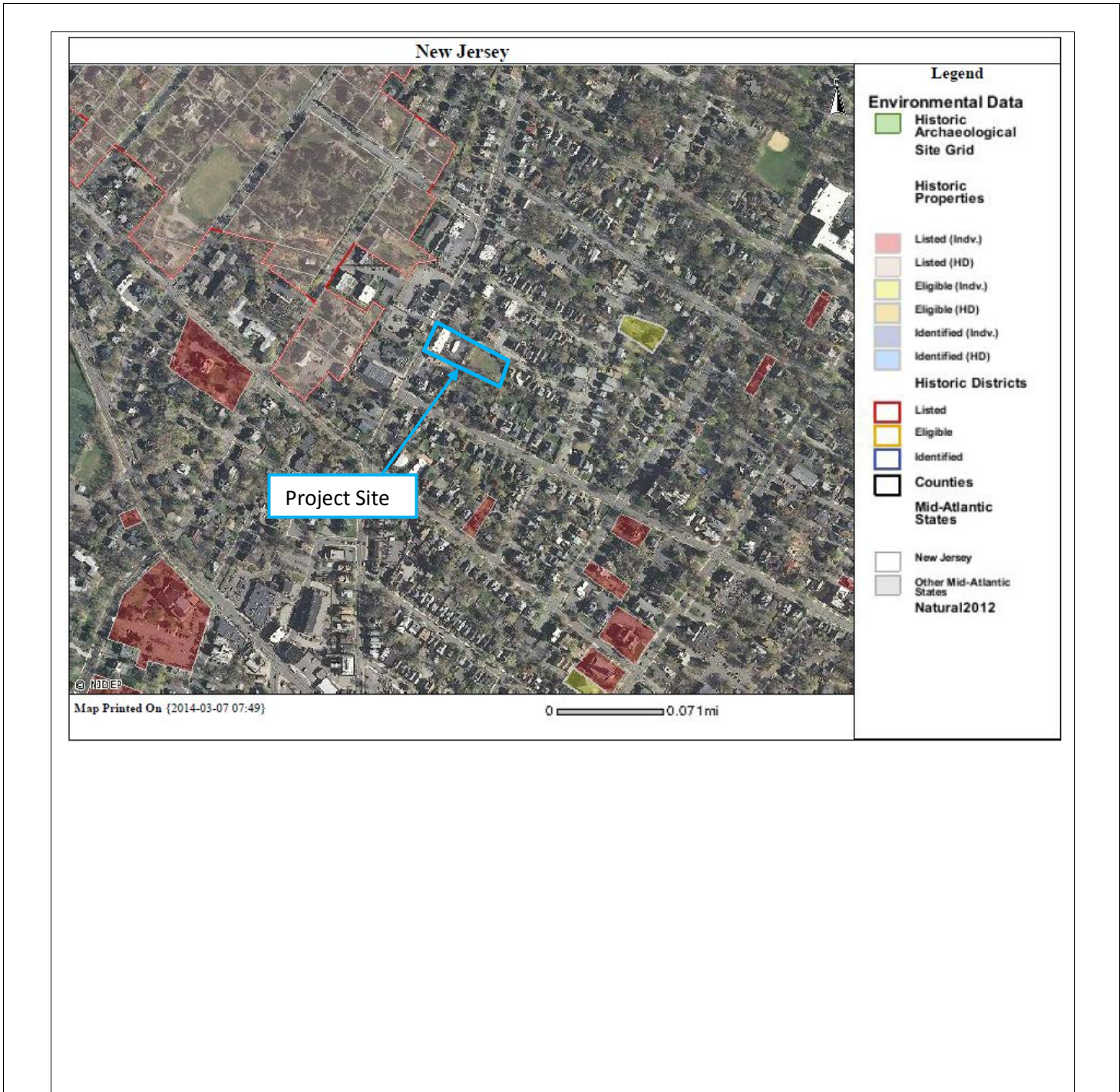
Required Documentation:  Historic Properties Map  Soils Map  USGS Quad  Property Photos



New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 3 (Version 1.0)



Applicant ID #	NEP0233
Property Address:	127 Valley Road, Township of Montclair



Historic Properties Map

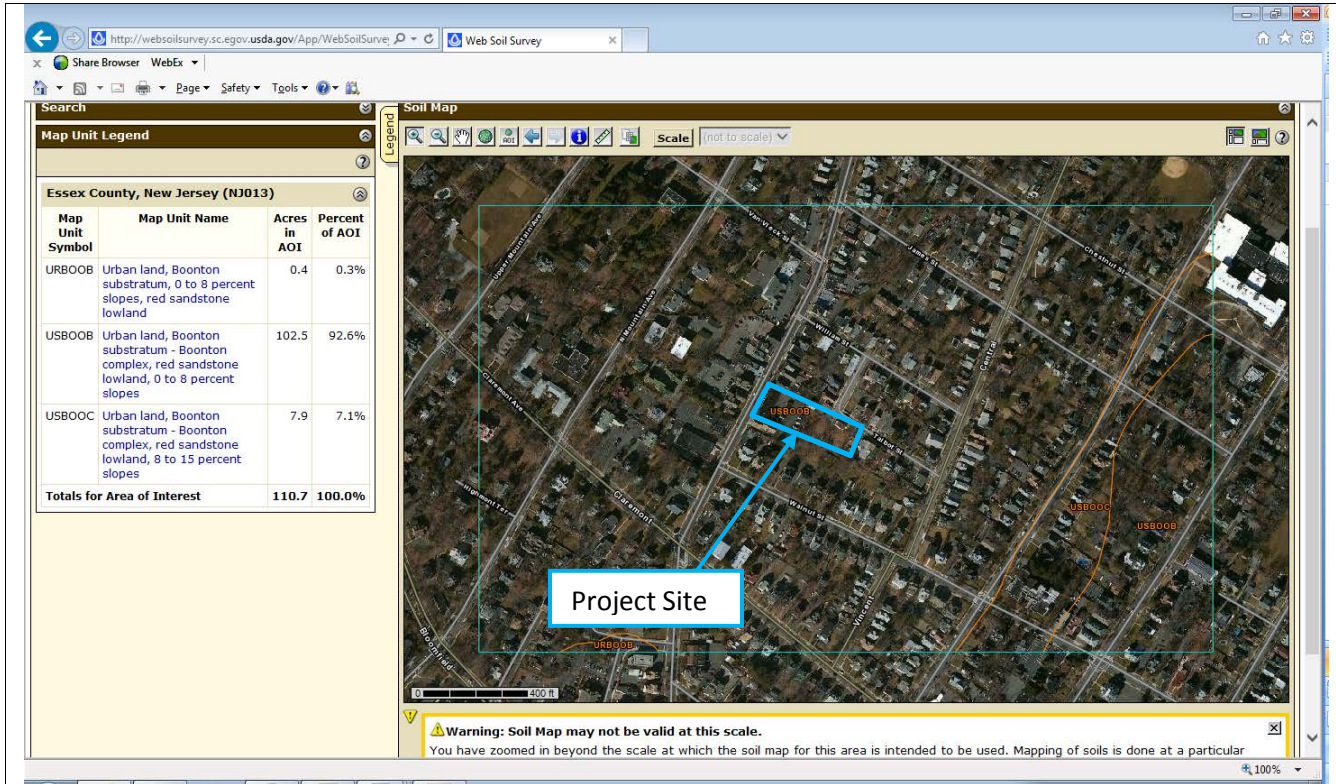




New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 4 (Version 1.0)



Applicant ID #	NEP0233
Property Address:	127 Valley Road, Township of Montclair



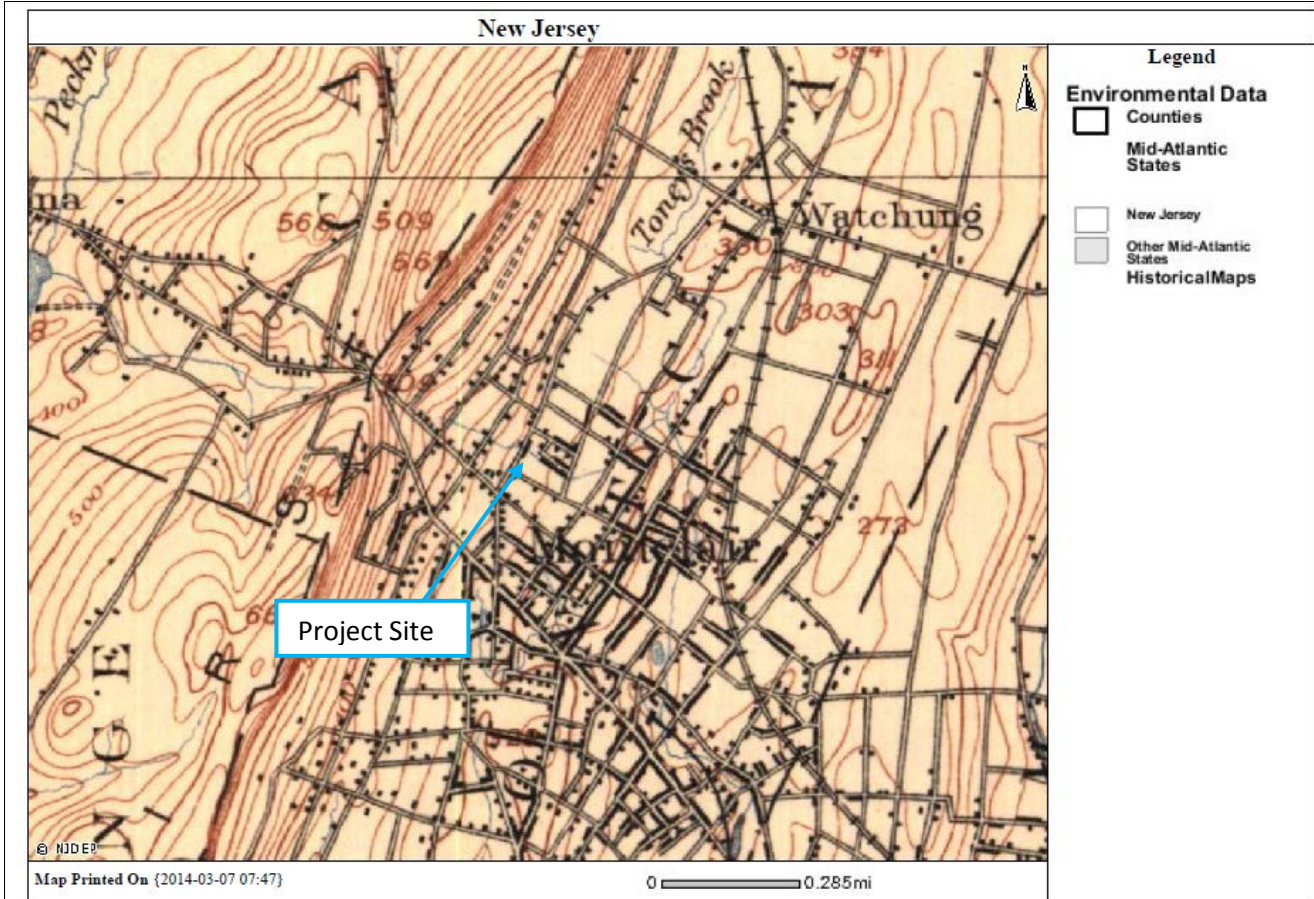
Soils Map



New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 5 (Version 1.0)



Applicant ID #	NEP0233
Property Address:	127 Valley Road, Township of Montclair



USGS Quadrangle :





New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 6 (Version 1.0)



Applicant ID #	NEP0233
Property Address:	127 Valley Road, Township of Montclair

Date:	2/24/2014
Direction:	East
Description:	Front of the property facing east.



Date:	2/24/2014
Direction:	East
Description:	Front of the property (background) and adjacent property (foreground) facing east.







New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 6 (Version 1.0)



<b>Date:</b>	2/24/2014
<b>Direction:</b>	North
<b>Description:</b>	View north along Valley Road, from the sidewalk in front of the property.



<b>Date:</b>	2/24/2014
<b>Direction:</b>	South
<b>Description:</b>	View south along Valley Road, from front of the property.







New Jersey Department of Environmental Protection  
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Form – 6 (Version 1.0)



<b>Date:</b>	2/24/2014
<b>Direction:</b>	South
<b>Description:</b>	View of the rear of the building (right), garage/storage buildings and the building parking lot.



<b>Date:</b>	2/24/2014
<b>Direction:</b>	West
<b>Description:</b>	View of the undeveloped portion of the property.







New Jersey Department of Environmental Protection  
Hurricane Sandy  
Community Development Block Grant  
Form – 6 (Version 1.0)



<b>Date:</b>	2/24/2014
<b>Direction:</b>	South
<b>Description:</b>	View facing south along Dey Street, towards the intersection of Dey Street and Talbot Street, and the proposed entrance to the project (center).



**NJDEP Environmental and Historic Review**  
**Application for EDA and DCA/NEP**

- 1. Agency Name: DCA
- 2. Date of Application Submittal to DEP: ~~Dec 17, 2013~~ 1/29/14 (LMI)
- 3. CDBG-DR Program: NEP
- 4. Applicant ID Number: NEP 2014
- 5. National Objective Description/Number: LMI
- 6. Grant Number: B-13-DS-34-0001
- 7. Applicant Name: 127 Valley Road Condominium Development
- 8. Project Location: 127 Valley Road (Street Address) 07042  
(Zip) Block 1509 Lot 40  
Montclair (Municipality) Essex County  
(A separate form with a unique Application ID number is required for each location.)

9. Detailed Project Description  
~ Please See Attached ~ PAMS PIN  
0713-1509-40

10. Change in Use  
*Will the project result in a change in use for the land or structure?*  
The project will result in a change in use from vacant non-residential (commercial) to residential. The subject parcel is now a part of a large lot which is currently in commercial/retail use. The rear of this large lot will be legally subdivided to create the development parcel.

11. Change in Size or capacity  
*Will the project result in a change in size or capacity of any kind? If YES, describe the percentage increase in size, footprint, number or capacity. Include any increase to main building(s), ancillary structure(s), parking areas, landscaping, paving, discharges such as sewage (wastewater), solid waste (trash), or process discharges, etc.*  
The project proposes to construct 3 residential structures on what is now vacant land. Thus it will result in an increase in the number of structures, parking areas, landscaping, paving, discharges such as sewage (wastewater) and solid waste (trash).



12. **Market Value (for multi-family rehabilitation projects only)**

*What is the estimated cost of the rehabilitation as a percentage of the estimated post rehab value of the building? Attach documentation such as comparable housing prices.*

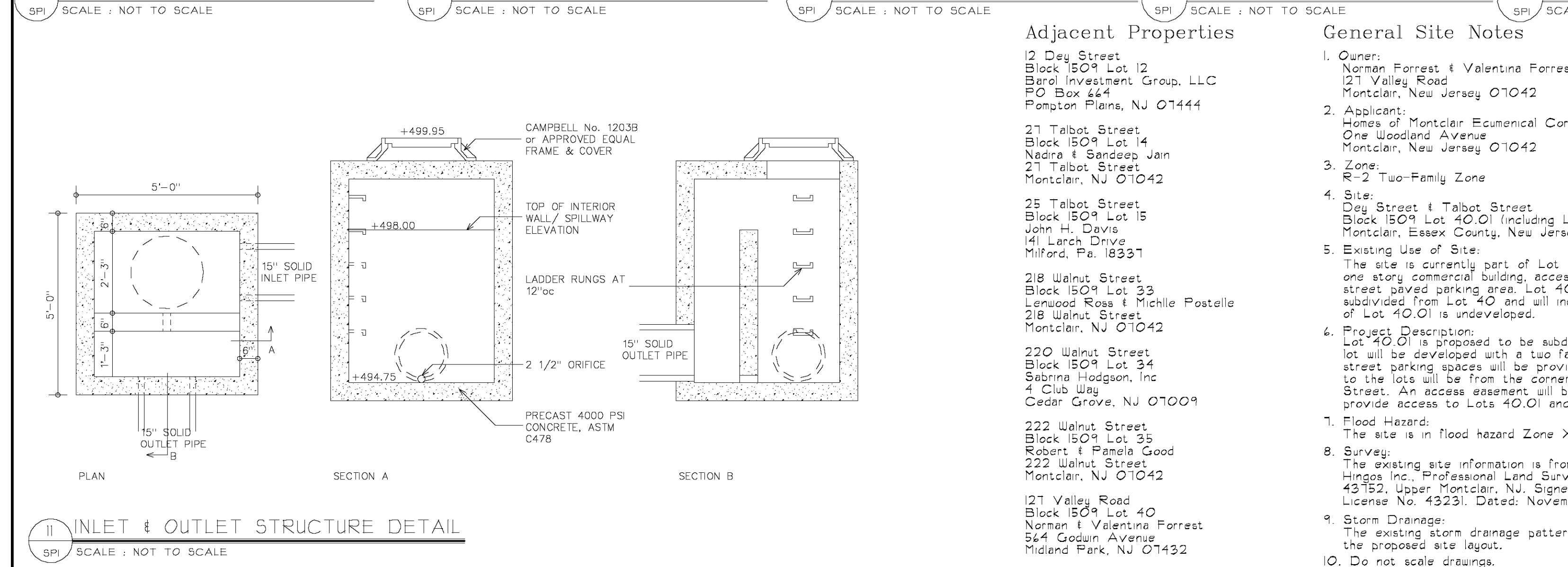
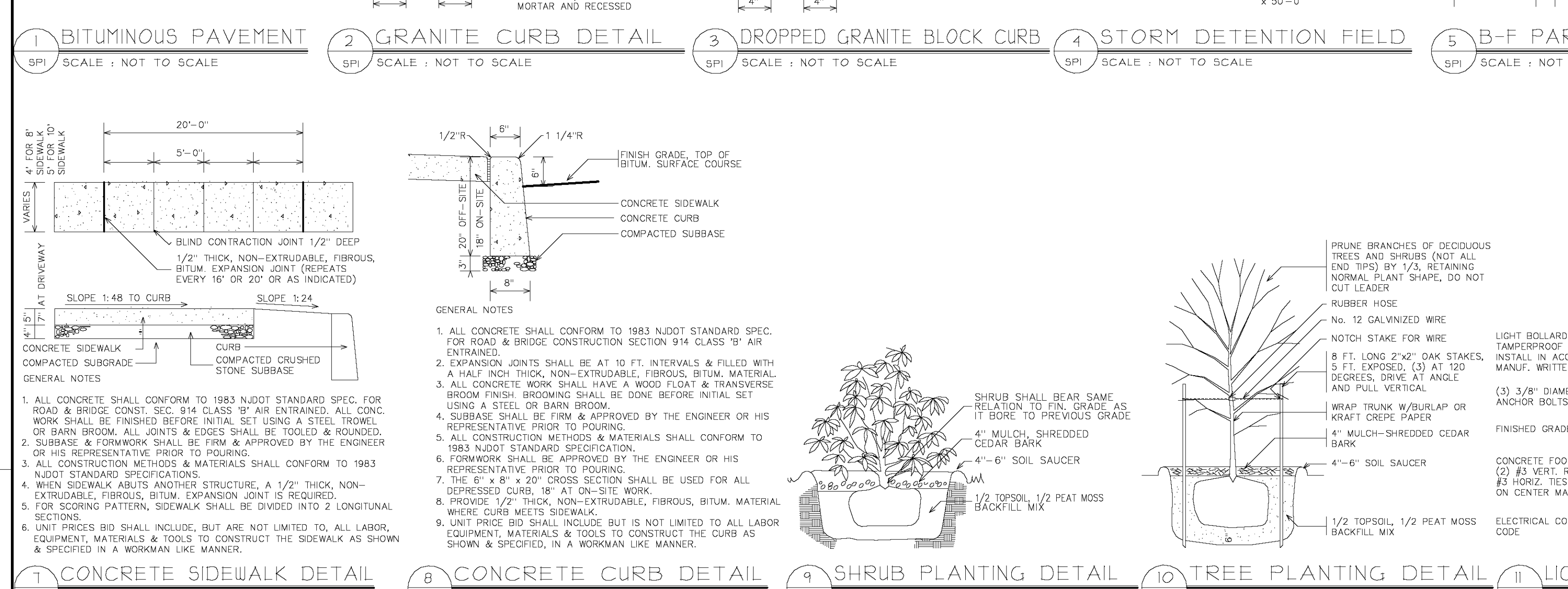
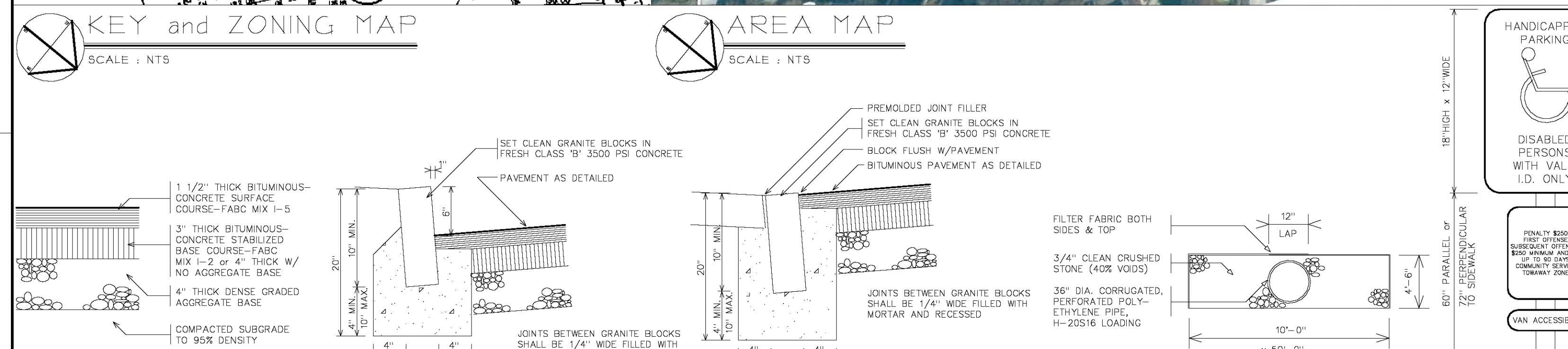
- NA -

13. **Right of Entry Form signed by property Owner**

*~ Please See Attached ~*

Initial Determination of Level of Review	<u>EA</u>	SCM Initials	<u>LMHO</u>
Reason for Initial Determination	<u>New construction - 3 duplexes</u>		
<i>This section for DEP use.</i>	<u>change in use</u>		





ISSUE	EXISTING	REQUIRED/PERMITTED	PROPOSED Lot 40.03	PROPOSED Lot 40.02 including Lot 13	PROPOSED Lot 40.01	CONFORM
PRINCIPAL USE	Vacant Lot	Two Family Dwelling (347-47B)	Two Family Dwelling	Two Family Dwelling	Two Family Dwelling	Yes
ACCESSORY USE	N/A	Garages appurtenant to a residential use (347-49A)	N/A	N/A	N/A	N/A
ACCESSORY USE	N/A	Off-Street Parking for not more than Five Vehicles (347-49B)	Four Vehicles (Common)	Four Vehicles (Common)	Four Vehicles (Common)	Yes
LOT SIZE	19,117 S.F.	No Requirement (347-50)	6,043.55 S.F.	6,698.27 S.F.	6,375.37 S.F.	N/A
LOT WIDTH	109.09 FT.	60 FT. (347-50/347-18E/Map)	63.84 FT.	62.79 FT.	60.00 FT.	Yes
LOT FRONTAGE	108.43 FT.	No Requirement	61.55 FT.	63.00 FT. (25 FT.) 48.91 FT. parallel to street	62.28 FT. 48.91 FT. parallel to street	N/A
LOT DEPTH	186.64 FT.	Keep with established pattern (347-50/347-18E(1))	94.57 FT.	100.18 FT.	105.67 FT.	Yes
NUMBER OF DWELLINGS ON LOT	N/A	One Principal Building per Lot (347-20)	One	One	One	Yes
STREET FRONTAGE	25 FT.	Lot shall front on Public Street (347-20)	No	25 FT.	No	40.03: No 40.02: Yes 40.01: No

Principal Building						
BUILDING HEIGHT	N/A	35 FT. (347-51/347-45A(1)) 2 1/2 Story (347-51/347-45A(2))	<30 FT. 2 1/2 Story	<30 FT. 2 1/2 Story	<30 FT. 2 1/2 Story	Yes Yes
FRONT YARD SETBACK	N/A	25 FT. (347-51/347-45B(1)) (or avg. 4 adjacent in zone)	25 FT. to Front Lot Line	48.5 FT. to Front Lot Line	48.5 FT. to Front Lot Line	No
ONE SIDE YARD SETBACK	N/A	6 FT. (347-51/347-45C(1))	6 FT.	8.5 FT.	7 FT.	Yes
OTHER SIDE YARD SETBACK	N/A	10 FT. (347-51/347-45C(1))	16 FT.	11 FT.	10.5 FT.	Yes
BUILDING WIDTH	N/A	65% of Lot Frontage (347-51/347-45C(4))	40 FT. (40.0 FT. max.)	40 FT. (40.95 FT. max.)	40 FT. (40.48 FT. max.)	Yes
REAR YARD SETBACK	N/A	25 FT. or 30% Lot Depth (347-51/347-45D)	25.22 FT. (28.37 FT. min.)	15.0 FT. (30.05 FT. min.)	15.0 FT. (31.70 FT. min.)	40.03: No 40.02: Yes 40.01: No
BUILDING COVERAGE	N/A	25% of Lot Area (347-51/347-45E)	1,471 S.F./24.3% (1,510.75 S.F. max.)	1,275 S.F./19.0% (1,074.62 S.F. max.)	1,433 S.F./22.5% (1,593.87 S.F. max.)	Yes

Accessory Uses						
NUMBER OF PARKING STALLS	N/A	2 Bedroom: 1.5 Stalls 3 Bedroom: 2.0 Stalls (347-101/RSIS T4.4)	4 (3.5 min.)	4 (3.0 min.)	4 (3.5 min.)	Yes
SIZE OF PARKING STALLS	N/A	9 FT. x 19 FT. (347-102B)	(4)9 FT. x 18 FT.	(3)9 FT. x 18 FT. (1)8 FT. x 18 FT. + 8 FT. AISLE	(4)9 FT. x 18 FT.	No
DRIVEWAY WIDTH	N/A	18 FT. (281-91)	N/A	18-20 FT.	N/A	Yes
PARKING AREA SETBACK	N/A	4 FT. (347-104)	4.0 FT.	4.0 FT.	4.0 FT.	Yes
DRIVEWAY SETBACK	N/A	1 FT. (347-104)	N/A	2.7 FT.	N/A	Yes
PARKING AREA LOCATION	N/A	No parking area shall be located between the main building and the front street curb (347-52/347-46C/347-40B/347-34B)	N/A	Between the main building and the front street curb	Between the main building and the front street curb	40.03: N/A 40.02: No 40.01: No
PARKING LOT AISLE WIDTH	N/A	12 FT. 45 degree Standard 18 FT. 60 degree Standard 24 FT. 90 degree Standard 21 FT. 90 degree Small (281-9D(1 & 2))	N/A	24 FT.	24 FT.	Yes

**Adjacent Properties**

12 Dey Street  
Block 1509 Lot 12  
Berol Investment Group, LLC  
PO Box 664  
Pompton Plains, NJ 07444

21 Talbot Street  
Block 1509 Lot 14  
Nedra & Sandeep Jain  
21 Talbot Street  
Montclair, NJ 07042

25 Talbot Street  
Block 1509 Lot 15  
John H. Davis  
141 Larch Drive  
Milford, Pa. 18331

218 Walnut Street  
Block 1509 Lot 33  
Lenwood Ross & Michelle Postalle  
218 Walnut Street  
Montclair, NJ 07042

220 Walnut Street  
Block 1509 Lot 34  
Sabrina Hodgson, Inc  
4 Club Way  
Cedar Grove, NJ 07009

222 Walnut Street  
Block 1509 Lot 35  
Robert & Pamela Good  
222 Walnut Street  
Montclair, NJ 07042

121 Valley Road  
Block 1509 Lot 40  
Norman & Valentina Forrest  
544 Godwin Avenue  
Midland Park, NJ 07432

**General Site Notes**

- Owner: Norman Forrest & Valentina Forrest  
121 Valley Road  
Montclair, New Jersey 07042
- Applicant: Homes of Montclair Ecumenical Corp.  
One Woodland Avenue  
Montclair, New Jersey 07042
- Zone: R-2 Two-Family Zone
- Site: Dey Street & Talbot Street  
Block 1509 Lot 40.01 (including Lot 13)  
Montclair, Essex County, New Jersey
- Existing Use of Site: The site is currently part of Lot 40 that is developed with a one story commercial building, accessory buildings and an off street paved parking area. Lot 40.01 is proposed to be subdivided from Lot 40 and will incorporate Lot 13. The area of Lot 40.01 is undeveloped.
- Project Description: Lot 40.01 is proposed to be subdivided into three lots. Each lot will be developed with a two family dwelling and four off street parking spaces will be provided for each building. Access to the lots will be from the corner of Dey Street and Talbot Street. An access easement will be required on Lot 40.02 to provide access to Lots 40.01 and 40.03.
- Flood Hazard: The site is in flood hazard Zone X, non-hazard.
- Survey: The existing site information is from a survey prepared by Richard J. Hingos, Inc., Professional Land Surveyors, 1 Bellevue Plaza, PO Box 43152, Upper Montclair, NJ. Signed by Richard J. Hingos, Jr., NJ License No. 43231. Dated: November 16, 2012.
- Storm Drainage: The existing storm drainage pattern shall be modified to accommodate the proposed site layout.
- Do not scale drawings.

APPROVAL SIGNATURES and DATES	
TOWNSHIP BOARD CHAIRMAN	DATE
TOWNSHIP BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

**Sionas Architecture, P.C.**  
 Architecture + Landscape Architecture + Planning  
 31 S. Fullerton Ave, Montclair, NJ 07042 973.783.2958

ZONING CHART  
 SITE DETAILS

PROJECT NO. 11-011  
 DATE 03-08-13

SHEET NO. 1 OF 6

THREE PROPOSED  
 TWO FAMILY DWELLINGS  
 DEY and TALBOT STREETS  
 MONTCLAIR, NEW JERSEY



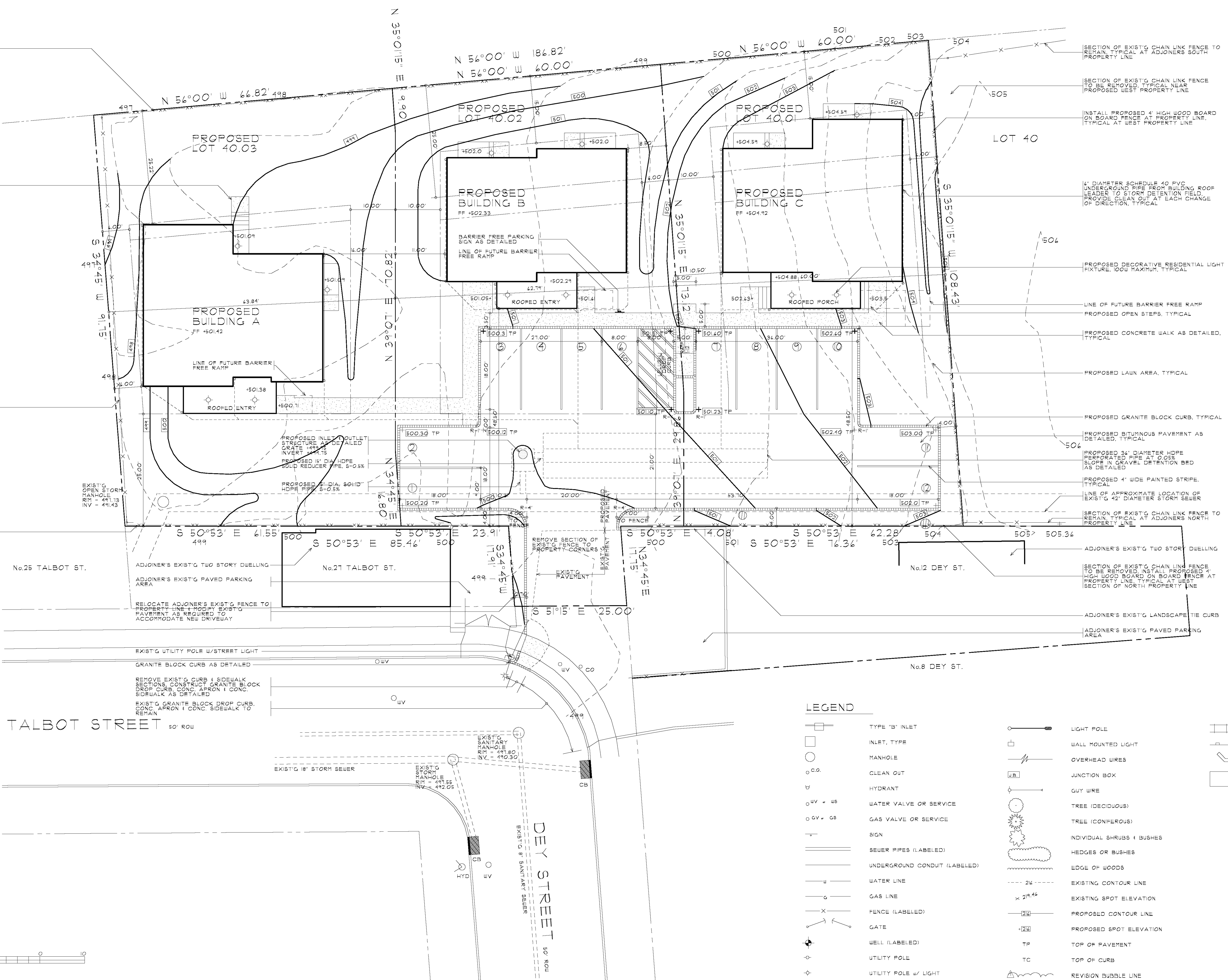
THIS DRAWING OR DOCUMENT AND INFORMATION SET FORTH HEREIN ARE THE PROPERTY OF SIONAS ARCHITECTURE, P.C. AND SHALL NOT BE USED OR DISCLOSED EXCEPT IN ACCORDANCE WITH WRITTEN PERMISSION.

SECTION OF EXIST'G CHAIN LINK FENCE TO BE RELOCATED TO PROPERTY LINE OF TO BE REPLACED W/4' HIGH BLACK VINYL COATED CHAIN LINK FENCE AT PROPERTY LINE. TYPICAL AT SOUTH PROPERTY LINE

PROPOSED 3.5' x 3.5' CONCRETE PAD, TYPICAL AT BASE OF ALL PROPOSED STOODS/STEPS

SECTION OF EXIST'G CHAIN LINK FENCE TO REMAIN. TYPICAL AT EAST PROPERTY LINE

SECTION OF EXIST'G CHAIN LINK FENCE TO BE REMOVED. INSTALL PROPOSED 4' HIGH WOOD BOARD ON BOARD FENCE AT PROPERTY LINE. TYPICAL AT EAST SECTION OF NORTH PROPERTY LINE



SECTION OF EXIST'G CHAIN LINK FENCE TO REMAIN. TYPICAL AT ADJONERS SOUTH PROPERTY LINE

SECTION OF EXIST'G CHAIN LINK FENCE TO BE REMOVED. TYPICAL NEAR PROPOSED WEST PROPERTY LINE

INSTALL PROPOSED 4' HIGH WOOD BOARD ON BOARD FENCE AT PROPERTY LINE. TYPICAL AT WEST PROPERTY LINE

4" DIAMETER SCHEDULE 40 PVC UNDERGROUND PIPE FROM BUILDING LEADER TO STORM DETENTION FIELD. PROVIDE CLEAN OUT AT EACH CHANGE OF DIRECTION. TYPICAL

PROPOSED DECORATIVE RESIDENTIAL LIGHT FIXTURE. 100W MAXIMUM. TYPICAL

LINE OF FUTURE BARRIER FREE RAMP

PROPOSED OPEN STEPS. TYPICAL

PROPOSED CONCRETE WALK AS DETAILED. TYPICAL

PROPOSED LAWN AREA. TYPICAL

PROPOSED GRANITE BLOCK CURB. TYPICAL

PROPOSED BITUMINOUS PAVEMENT AS DETAILED. TYPICAL

PROPOSED 3/4" DIAMETER HDPE PERFORATED PIPE AT 0.05% SLOPE IN GRAVEL DETENTION BED AS DETAILED

PROPOSED 4" WIDE PAINTED STRIPE. TYPICAL

LINE OF APPROXIMATE LOCATION OF EXIST'G 42" DIAMETER STORM SEWER

SECTION OF EXIST'G CHAIN LINK FENCE TO REMAIN. TYPICAL AT ADJONERS NORTH PROPERTY LINE

ADJONERS EXIST'G TWO STORY DWELLING

SECTION OF EXIST'G CHAIN LINK FENCE TO BE REMOVED. INSTALL PROPOSED 4' HIGH WOOD BOARD ON BOARD FENCE AT PROPERTY LINE. TYPICAL AT WEST SECTION OF NORTH PROPERTY LINE

ADJONERS EXIST'G LANDSCAPE TIE CURB

ADJONERS EXIST'G PAVED PARKING AREA

No.25 TALBOT ST.

TALBOT STREET 50' ROW

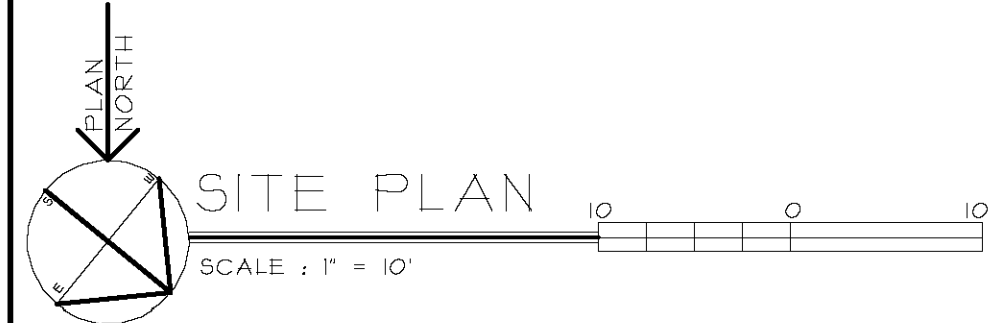
No.21 TALBOT ST.

No.8 DEY ST.

DEY STREET 50' ROW

LEGEND

- TYPE 'B' INLET
- INLET TYPE
- MANHOLE
- CLEAN OUT
- HYDRANT
- WATER VALVE OR SERVICE
- GAS VALVE OR SERVICE
- SIGN
- SEWER PIPES (LABELED)
- UNDERGROUND CONDUIT (LABELED)
- WATER LINE
- GAS LINE
- FENCE (LABELED)
- GATE
- WELL (LABELED)
- UTILITY POLE
- UTILITY POLE w/ LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- OVERHEAD WIRES
- JUNCTION BOX
- GUY WIRE
- TREE (DECIDUOUS)
- TREE (CONIFEROUS)
- INDIVIDUAL SHRUBS & BUSHES
- HEDGES OR BUSHES
- EDGE OF WOODS
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR LINE
- PROPOSED SPOT ELEVATION
- TOP OF PAVEMENT
- TOP OF CURB
- REVISION BUBBLE LINE
- RAIL ROAD TRACKS
- GUIDE RAIL
- HEADWALL
- CONC. SIDEWALK



NO.	DATE	REVISIONS
1	04-11-19	REVIEW SET
2	07-25-19	REVIEW SET
3	08-19-19	BOARD SUBMITTAL SET

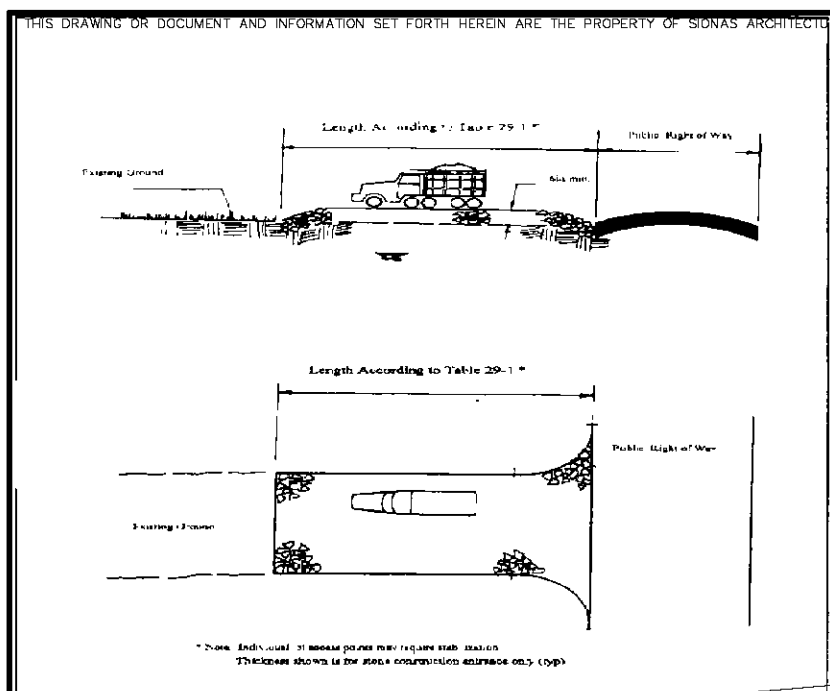
THREE PROPOSED  
TWO FAMILY DWELLINGS  
DEY and TALBOT STREETS  
MONTCLAIR, NEW JERSEY

SIONAS ARCHITECTURE, P.C.  
N.J. AIO 86557  
N.Y. 018797-15  
N.J. ASO 00676-1A  
N.J. UO 34209-1

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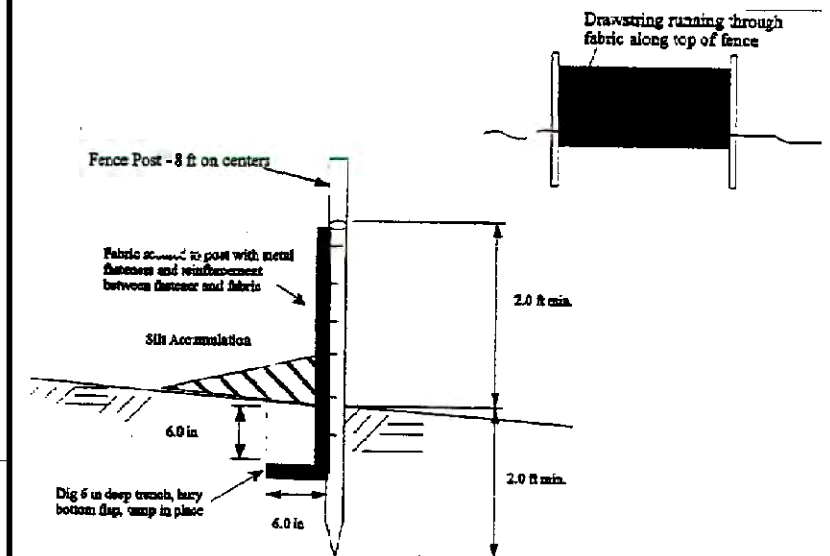
SITE PLAN  
PROJECT NO. 11-1011  
DATE 03-06-13  
SHEET NO. SP2  
2 OF 6





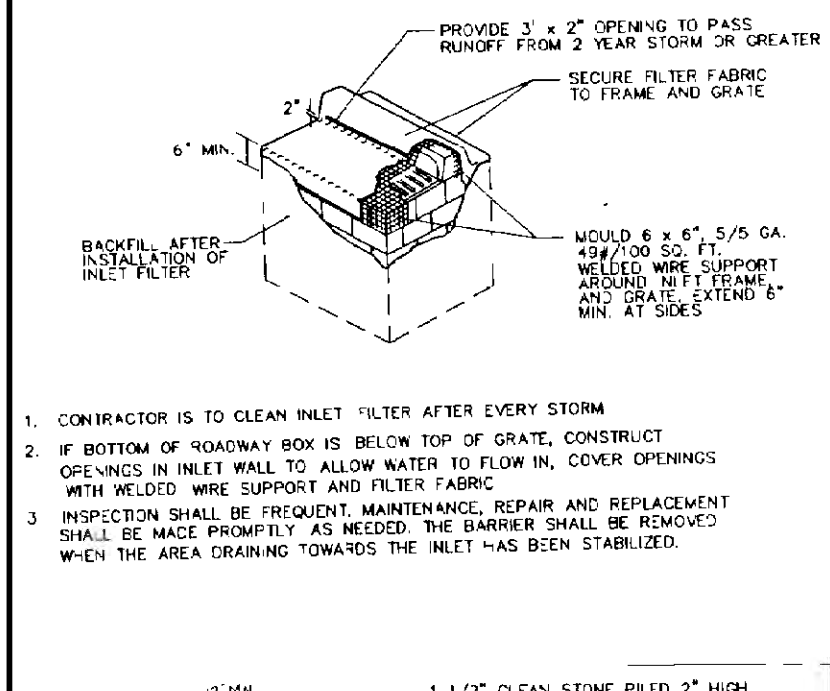
Percent Slope of Roadway	Length of Stone Required	
	Coarse Grained Soil	Fine Grained Soil
0 to 2%	50 ft	100 ft
2 to 5%	100 ft	200 ft
> 5%	Fabric matting stabilized with FABC base course	

**1 STABILIZED CONST. ACCESS**  
SCALE: NOT TO SCALE



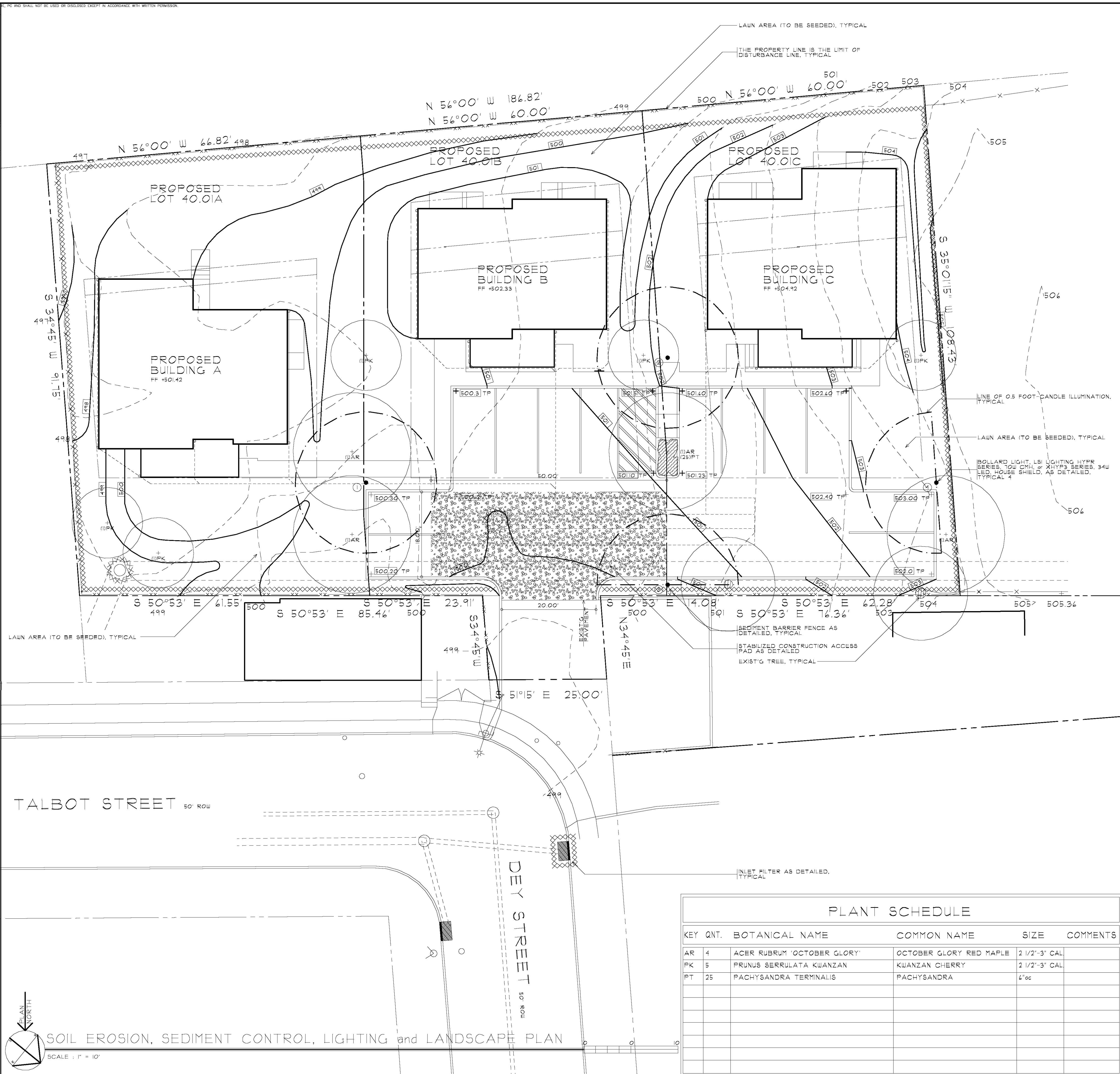
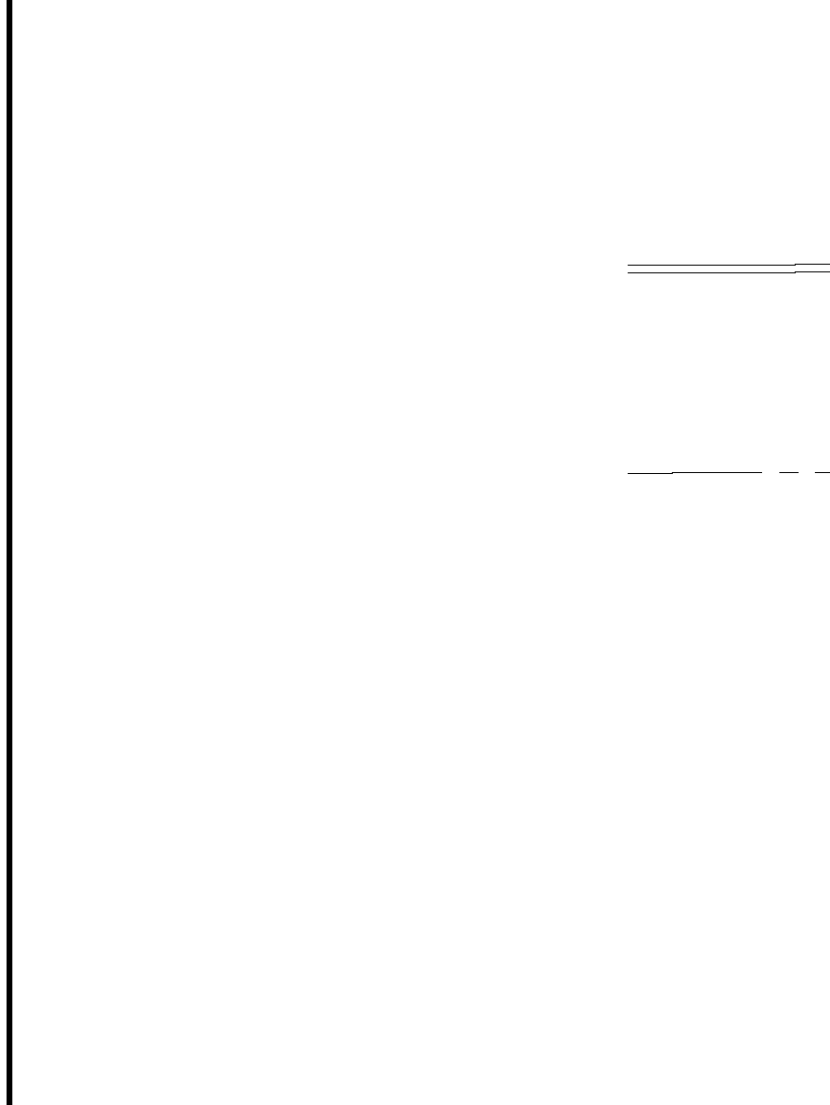
- Requirements for Silk Fence:
- Fence posts shall be spaced 8 feet center-to-center or closer. They shall extend at least 2 feet into the ground and extend at least 2 feet above ground (Fig. 25-3). Posts must be constructed of hardwood with a minimum diameter thickness of 1 1/2 inches.
  - A metal fence with 6 inch or smaller openings and at least 2 feet high may be utilized, fastened to the fence posts, to provide reinforcement and support to the geotextile fabric where space for other practices is limited and heavy sediment loading is expected.
  - A geotextile fabric, recommended for use by the manufacturer, shall be buried at least 6 inches deep in the ground. The fabric shall extend at least 2 feet above the ground. The fabric must be securely fastened to the posts using a system consisting of metal fasteners (nails or staples) and a high strength reinforcement material (nylon webbing, geomesh, webbing etc.) placed between the fastener and the geotextile fabric. The fastening system shall resist tearing away from the post. The fabric shall incorporate a draw-string in the top portion of the fence for added strength.

**2 SEDIMENT BARRIER**  
SCALE: NOT TO SCALE



- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
- IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT GROUNDS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC
- INSPECTION SHALL BE FREQUENT MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

**3 INLET PROTECTION**  
SCALE: NOT TO SCALE



**SOIL EROSION and SEDIMENT CONTROL NOTE**

- All soil erosion and sediment control practices are to be installed prior to any major soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
  - Any disturbed areas that will be left exposed more than Thirty (30) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed areas will be mulched with straw or equivalent material, at a rate of two tons per acre, according to state standards.
  - Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch to be used as necessary for protection until seeding is established.
  - All work to be done in accordance with the standards for soil erosion and sediment control of New Jersey.
  - A subbase course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the subbase shall be installed within Fifteen (15) days of the preliminary grading.
  - Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. steep slopes and roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to state standards.
  - Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation continues (i.e. slopes greater than 3:1).
  - The standard for stabilized construction entrance requires the installation of a 50' x 50' pad of 1 1/2" to 2" stone. At all construction driveways, immediately after initial site disturbance.
  - In accordance with the standard for permanent vegetative cover for soil stabilization, any soil having a pH of 4 or less or containing iron sulfides shall be covered with a minimum of Twelve (12) inches of soil having a pH of 5 or more prior to seedbed preparation.
  - The Hudson, Essex and Passaic soil conservation district shall be notified seventy-two (72) hours in advance of any land disturbing activity.
  - At the time the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
  - In that N.J.S.A. 4:24-39 et seq. Requires that no Certificates of occupancy be issued before the provisions of the Certified plan for erosion control have been complied with for permanent measures, all site work around individual lots in Subdivisions will have to be completed prior to the district issuing a report of compliance for the issuance of a certificate of occupancy by the municipality.
  - Conduit outlet protection must be installed at all required outlets prior to the drainage system becoming operational.
  - Any changes to the certified soil erosion and sediment control plans will require the submission of revised soil erosion and sediment control plans to the district for recertification. The revised plans must meet all current state soil erosion and sediment control standards.
  - Unfiltered dewatering is not permitted. Take all necessary Precautions during all dewatering operations to minimize sediment Transfer.
  - Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied in accordance with state standards for erosion control.
  - All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public rights-of-way will be removed immediately.
  - The property owner shall be responsible for any erosion or Sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.
  - Stockpile and staging locations determined in the field shall be placed within the limit of disturbance according to the Certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised soil Erosion and sediment control plan. The district reserves the right to determine when certification of a new and separate soil erosion plan will be required for these activities.
  - All soil stockpiles are to be temporarily stabilized in accordance with soil erosion and sediment control note no.2 Hudson, Essex and Passaic Soil Conservation District 15 Bloomfield Avenue North Caldwell, New Jersey 07006 (973) 364-0786 phone
- TEMPORARY STABILIZATION**  
Soils exposed for periods of two to twelve months shall be stabilized with temporary vegetative cover or other approved methods as follows:
- Streets, driveways and parking areas not scheduled for paving within the allotted time frame shall be stabilized using the pavement subbase course. This subbase course shall be installed within 15 days of preliminary grading.
  - All areas not scheduled for paving shall receive a temporary seeding immediately following rough grading.
  - Apply limestone and fertilizer at a rate of 500 pounds per acre or 11 pounds per square foot of 10-20-10 or equivalent.
  - Work limestone and fertilizer into the soil to a depth of 4 inches until uniform.
  - Temporary seeding will be a mix of annual ryegrass or perennial ryegrass at a rate of 40 pounds per acre or 1 pound per 1000 square feet.
  - Seeded area to be mulched using straw mulch or a suitable equivalent at a rate of two tons per acre in accordance with state standards.
- PERMANENT STABILIZATION**
- All areas not scheduled for construction or landscaping to be stabilized using a mixture of seed consisting of Kentucky Bluegrass, Perennial Ryegrass and Spreading Fescue in equal quantities. Seed to be applied at a rate of 30 pounds per acre.
  - Apply limestone and fertilizer at a rate of 500 pounds per acre or 11 pounds per square foot of 10-20-10 or equivalent.
  - Work limestone and fertilizer into the soil to a depth of 4 inches until uniform.
  - Remove all surface debris and stones two inches or larger.
  - Inspect seedbed just before seeding if traffic has left the soil compacted, the area must be retilled and firmed as above.
- SEQUENCE OF CONSTRUCTION**
- Install sediment filter fence, inlet filters and anti-tracking pads.
  - Clear site and rough grade.
  - Construct storm sewer, sanitary sewer, water and other utilities.
  - Stabilize and seed all disturbed areas not scheduled for paving.
  - Construct curbs, sidewalks and base course of pavement prior to the construction of buildings.
  - Final grading and stabilization.
  - Upon stabilization of all areas, remove all soil erosion devices and clean entire drainage system.

KEY	QNT.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AR	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL	
PK	5	PRUNUS SERRULATA KWANZAN	KWANZAN CHERRY	2 1/2"-3" CAL	
PT	25	PACHYSANDRA TERMINALIS	PACHYSANDRA	6"oc	

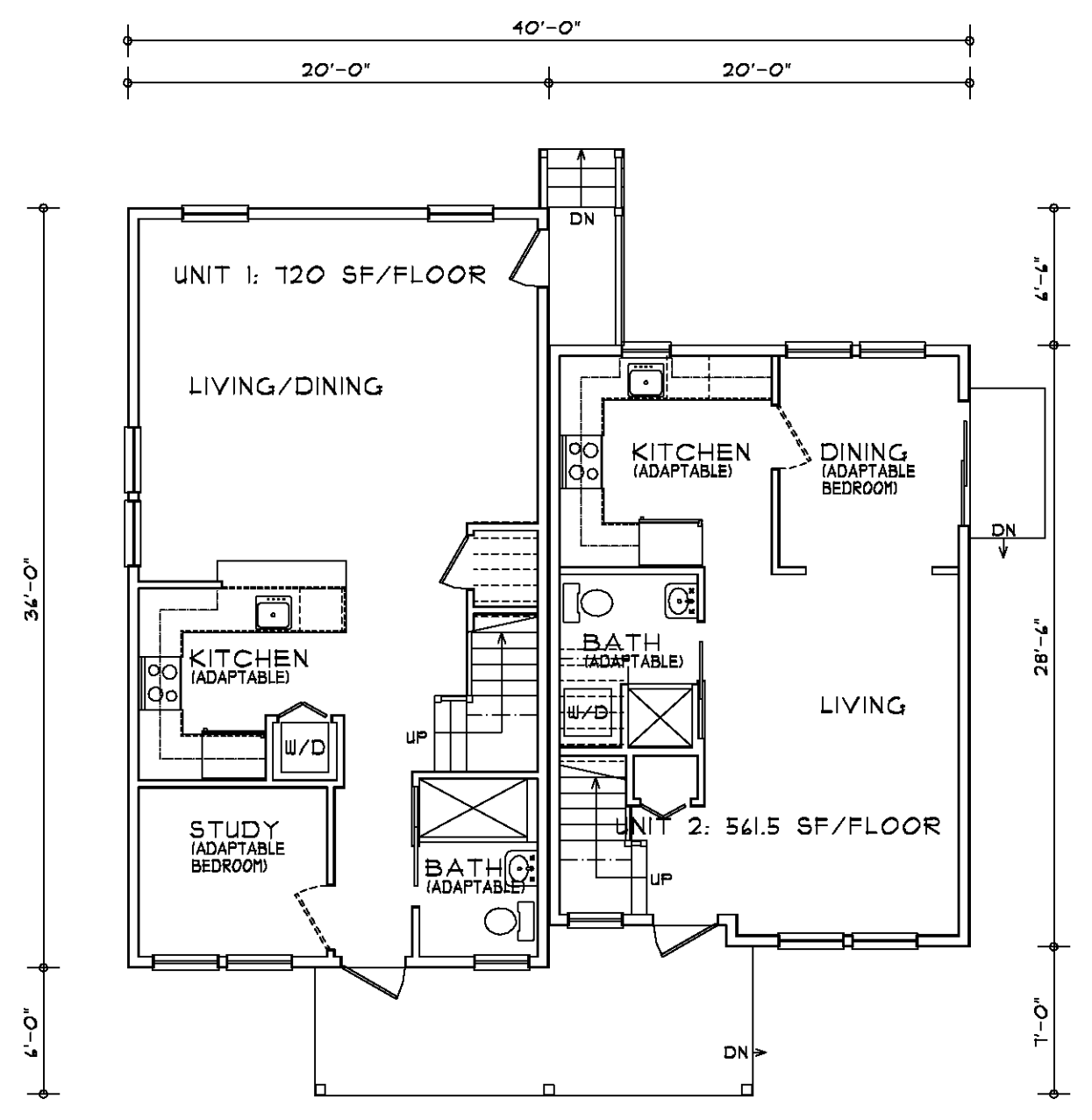
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 Architecture + Landscape Architecture + Planning  
 31 S. Fullerton Ave, Montclair, NJ 07042 973.783.2958

THREE PROPOSED  
 TWO FAMILY DWELLINGS  
 DEY and TALBOT STREETS  
 MONTCLAIR NEW JERSEY

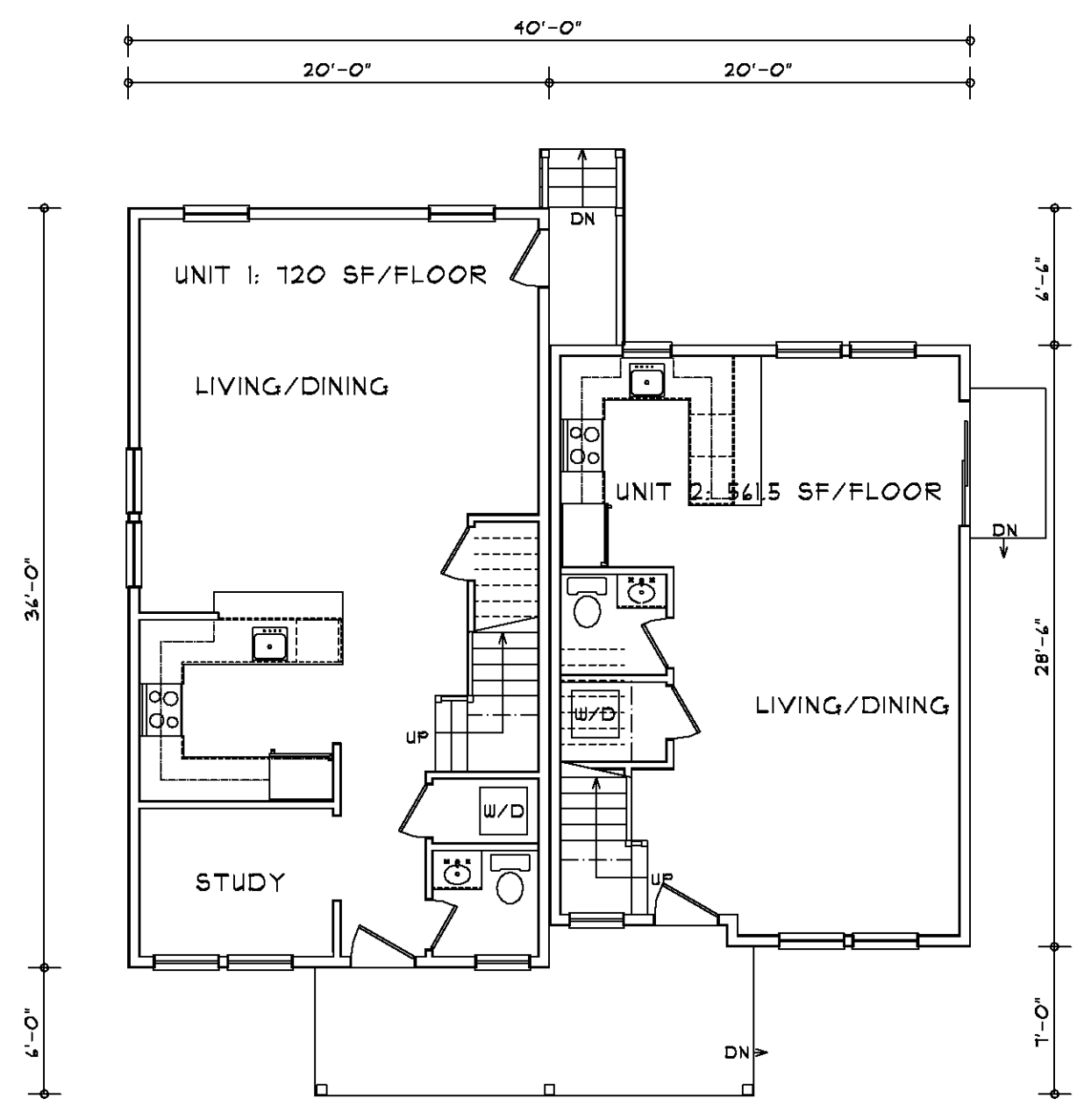
NO.	DATE	REVISIONS
3	01-25-13	REVIEW SET
2	01-25-13	REVIEW SET
1	04-11-13	REVIEW SET

SOIL EROSION PLAN  
 SITE DETAILS  
 SHEET NO. **SP3**  
 PROJECT NO. 11-101  
 DATE 03-06-13

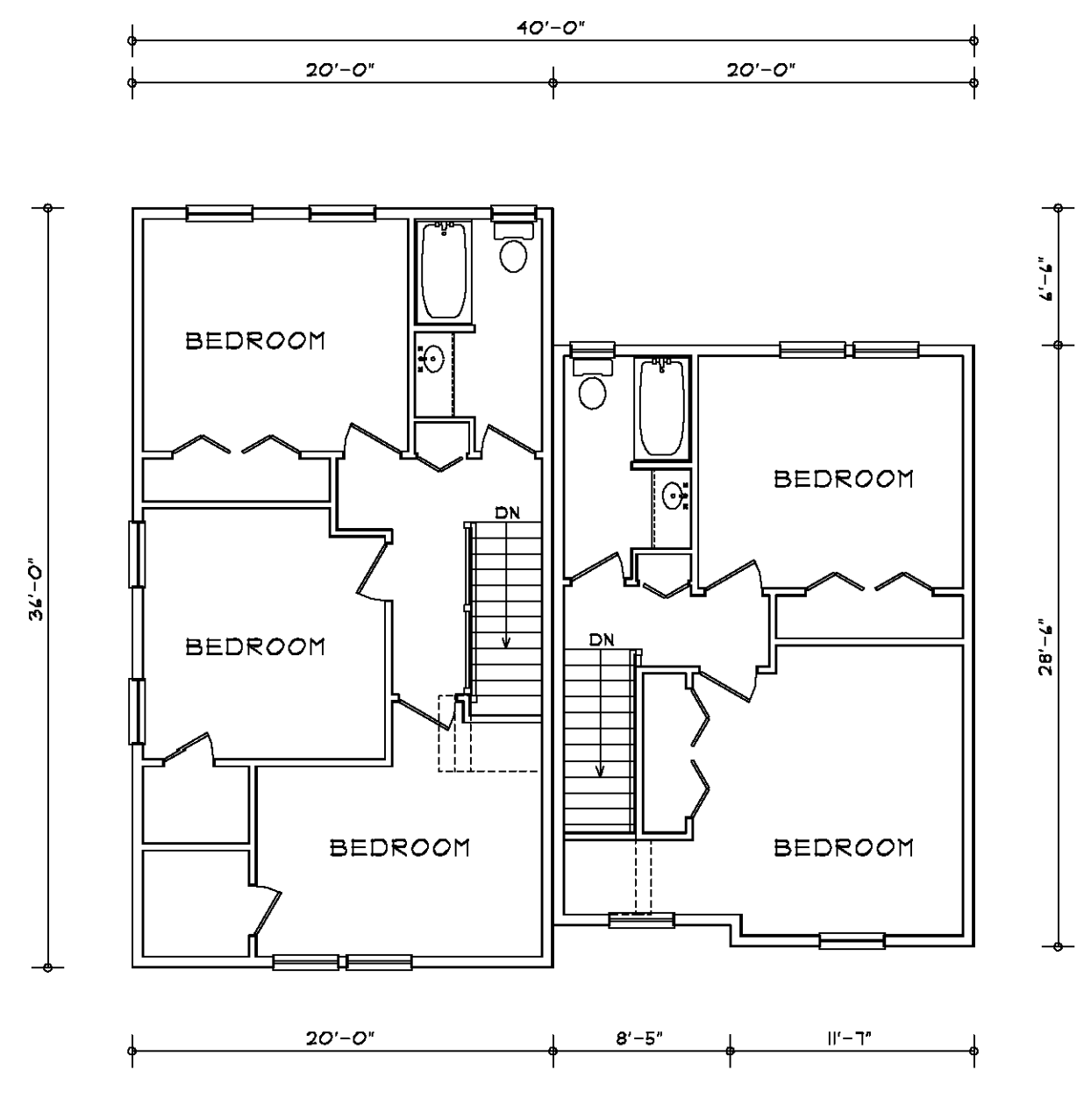




ALTERNATE FIRST FLOOR PLAN  
SCALE : 1/8" = 1'-0"



FIRST FLOOR PLAN  
SCALE : 1/8" = 1'-0"

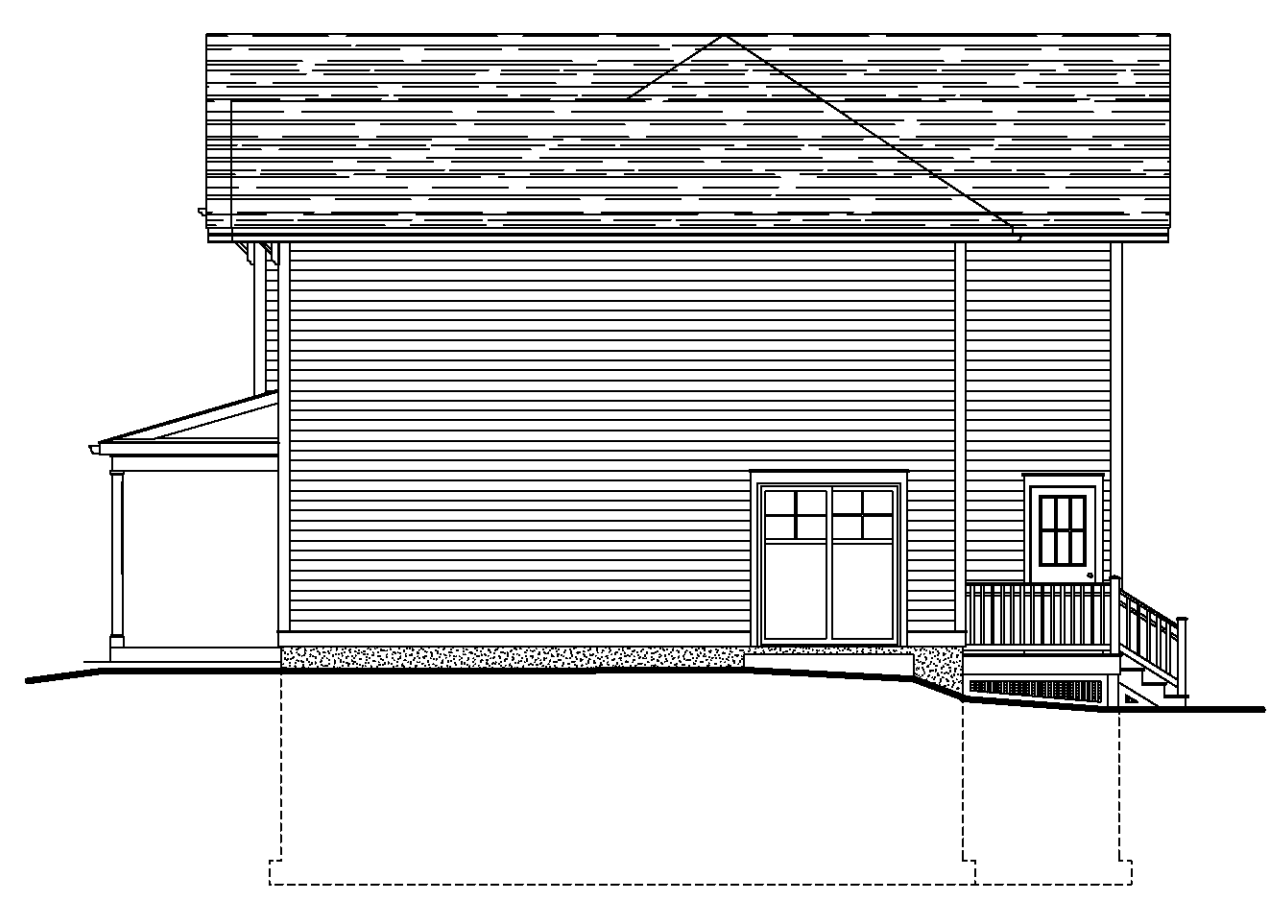


SECOND FLOOR PLAN  
SCALE : 1/8" = 1'-0"

- COMPOSITION ROOFING SHINGLES, TYPICAL
- CLAD WOOD or COMPOSITE TRIM, TYPICAL
- BOARD & BATTEN SIDING, TYPICAL
- ALUMINUM GUTTER, TYPICAL
- CEILING
- VINYL or COMPOSITE SHUTTER, TYPICAL
- HORIZONTAL SIDING, TYPICAL
- SECOND FLOOR
- COMPOSITION ROOFING SHINGLES, TYPICAL
- CLAD WOOD or VINYL WINDOW, TYPICAL
- FIRST FLOOR
- CONCRETE or MASONRY FOUNDATION, TYPICAL
- BASEMENT



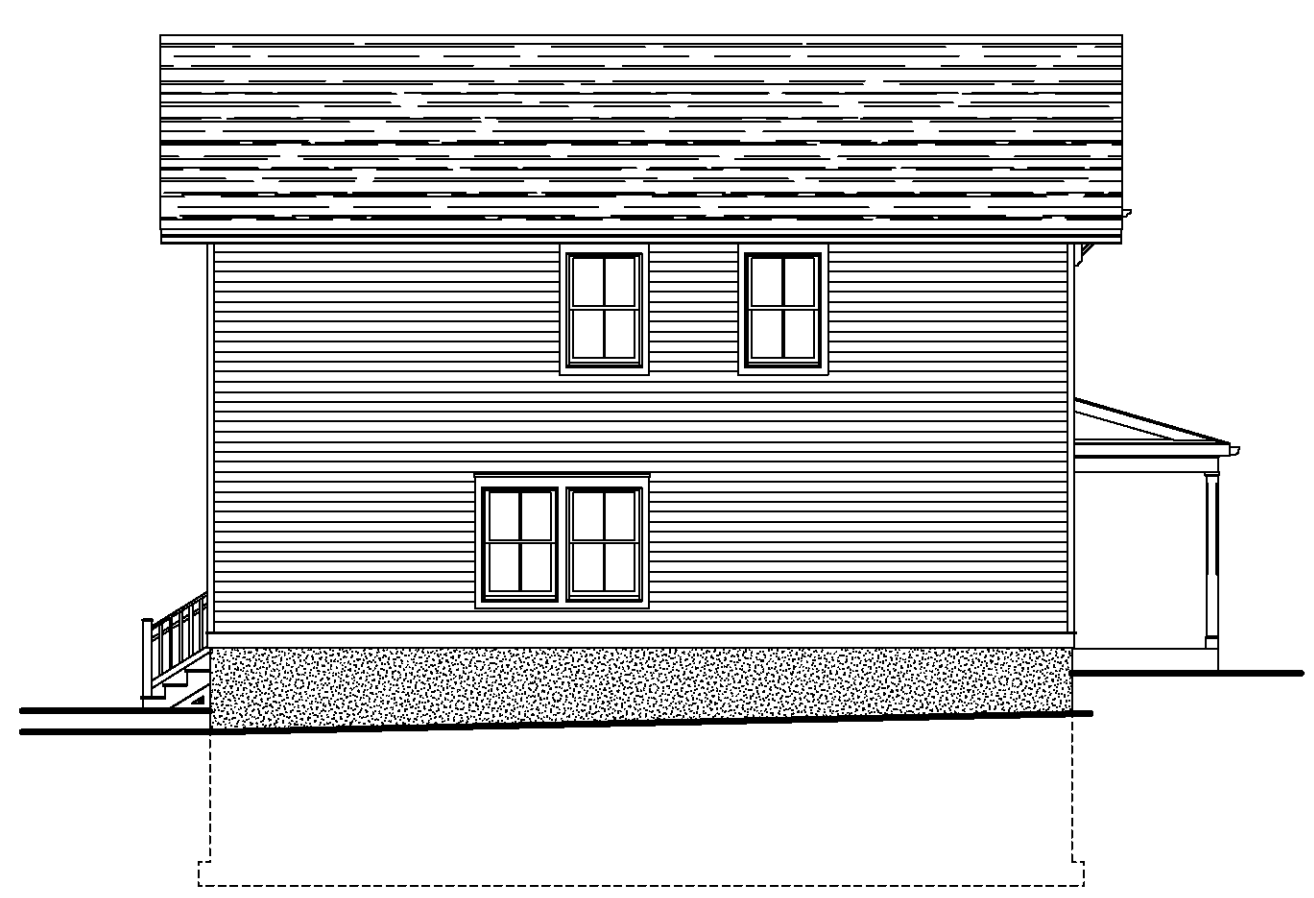
NORTH (FRONT) ELEVATION  
SCALE : 1/8" = 1'-0"



WEST ELEVATION  
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE : 1/8" = 1'-0"



EAST ELEVATION  
SCALE : 1/8" = 1'-0"

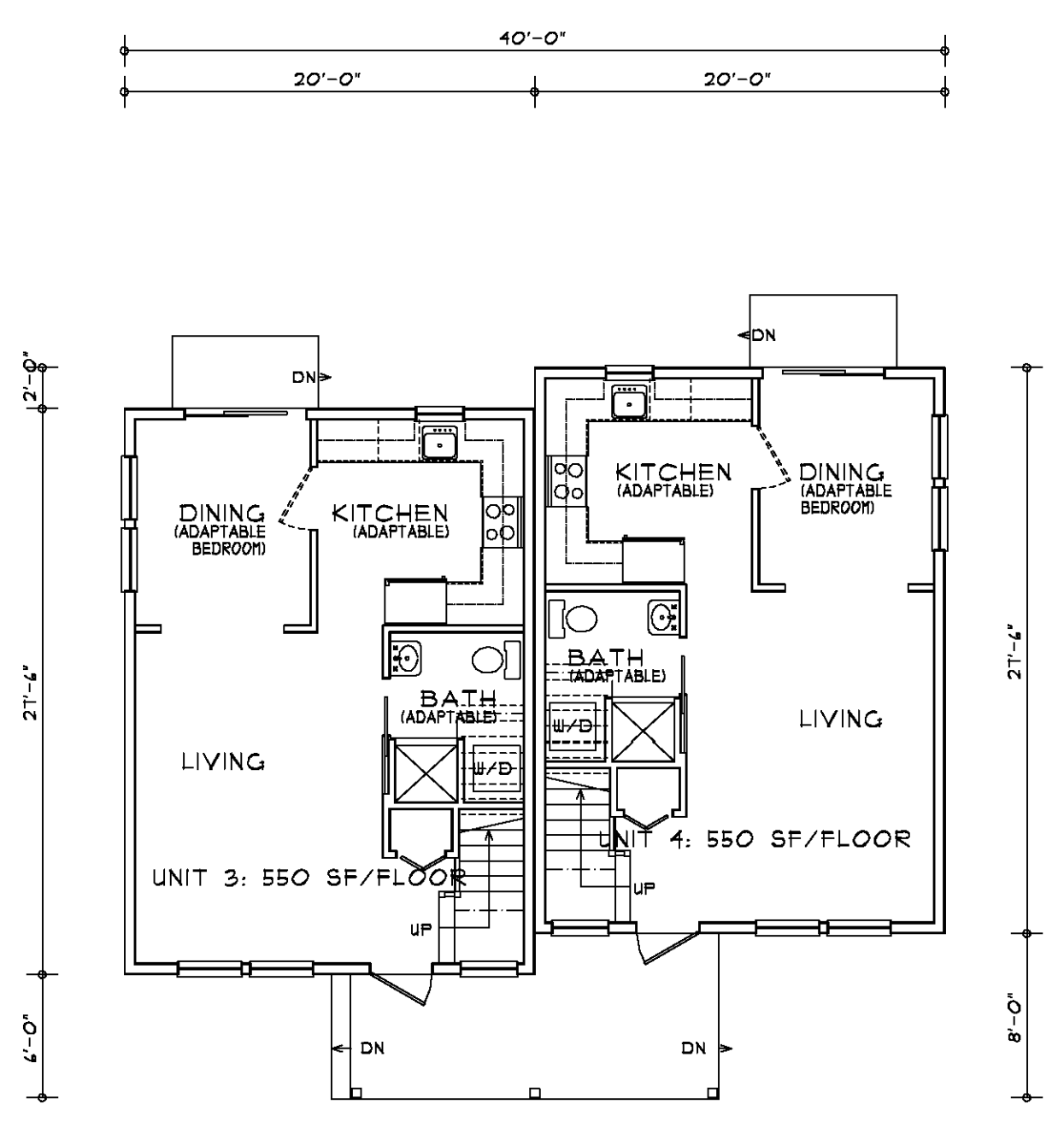
NO.	DATE	REVISIONS
3	08-14-13	BOARD SUBMITTAL SET
2	07-25-13	REVIEW SET
1	04-11-13	REVIEW SET

THREE PROPOSED  
TWO FAMILY DWELLINGS  
DEY and TALBOT STREETS  
MONTCLAIR, NEW JERSEY

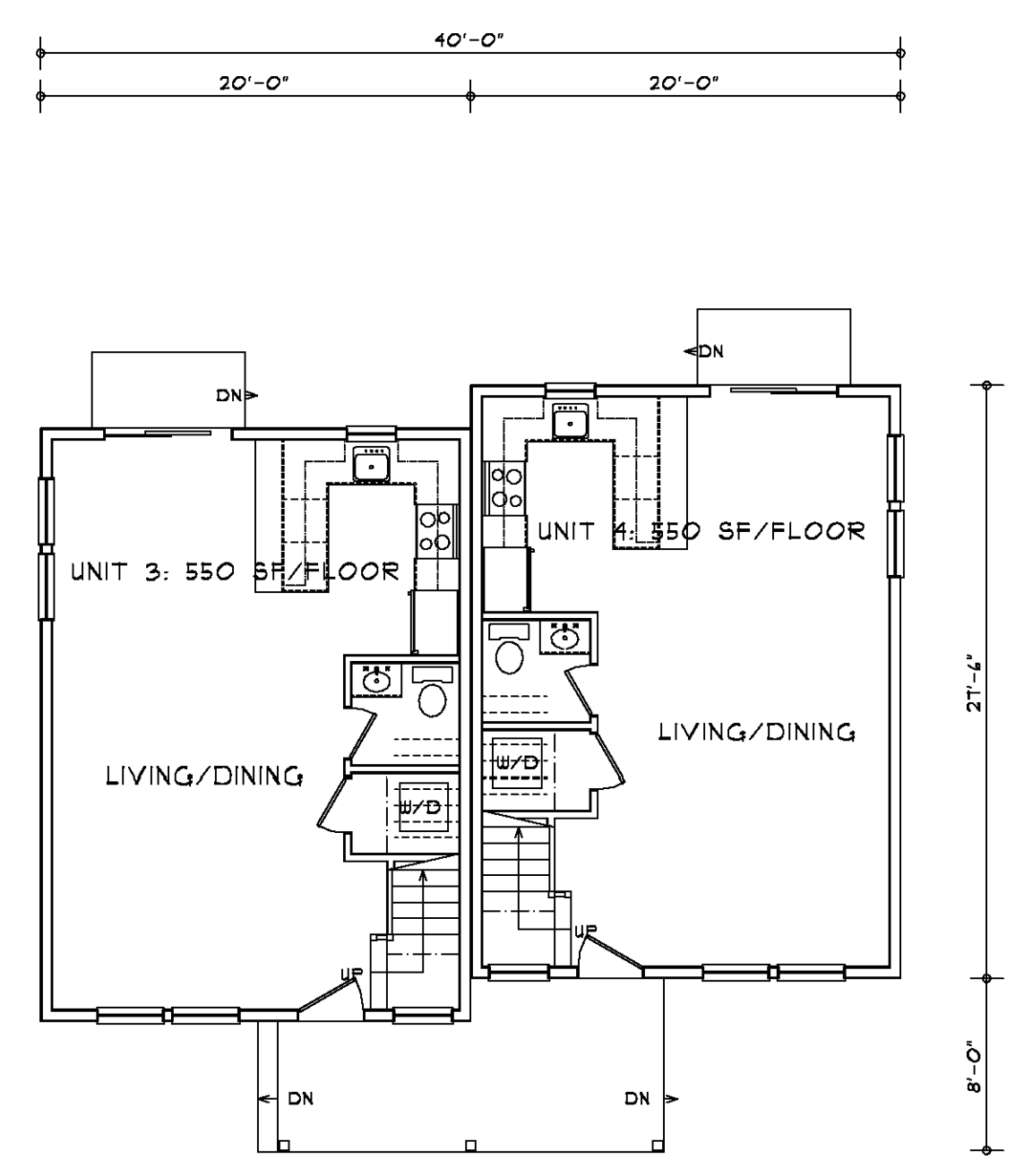
**Sionas Architecture, P.C.**  
N.J. ARCH. REG. NO. 12-100088 RA  
N.Y. ARCH. REG. NO. 11111 RA  
N.J. LANDSCAPE REG. NO. 000025 R.L.A.  
N.J. LANDSCAPE REG. NO. 000025 P.P.

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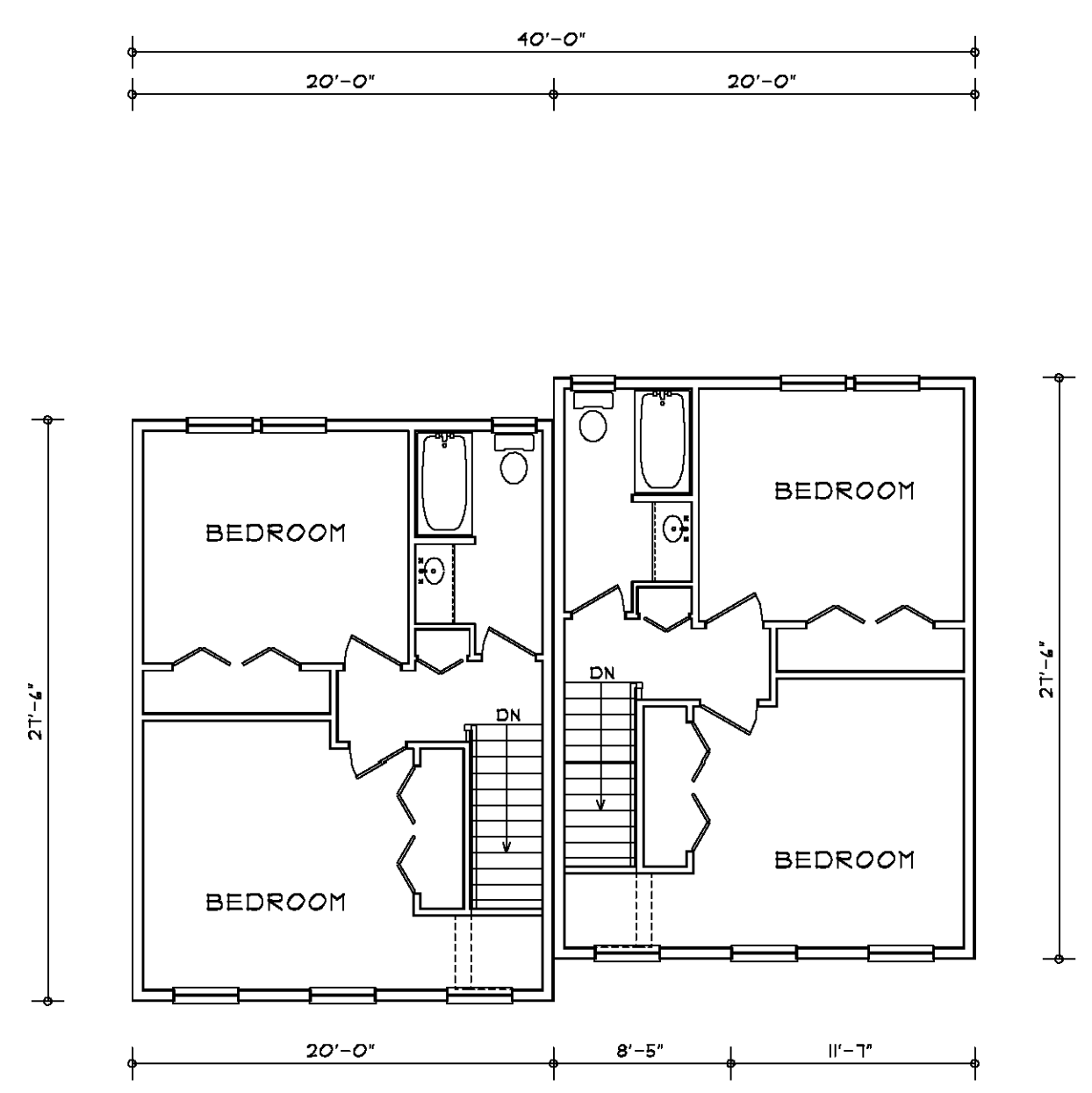
BUILDING PLANS BUILDING ELEVATIONS	PROJECT NO. 11-1011	DATE 08-08-13
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ALTERNATE FIRST FLOOR PLAN  
SCALE : 1/8" = 1'-0"

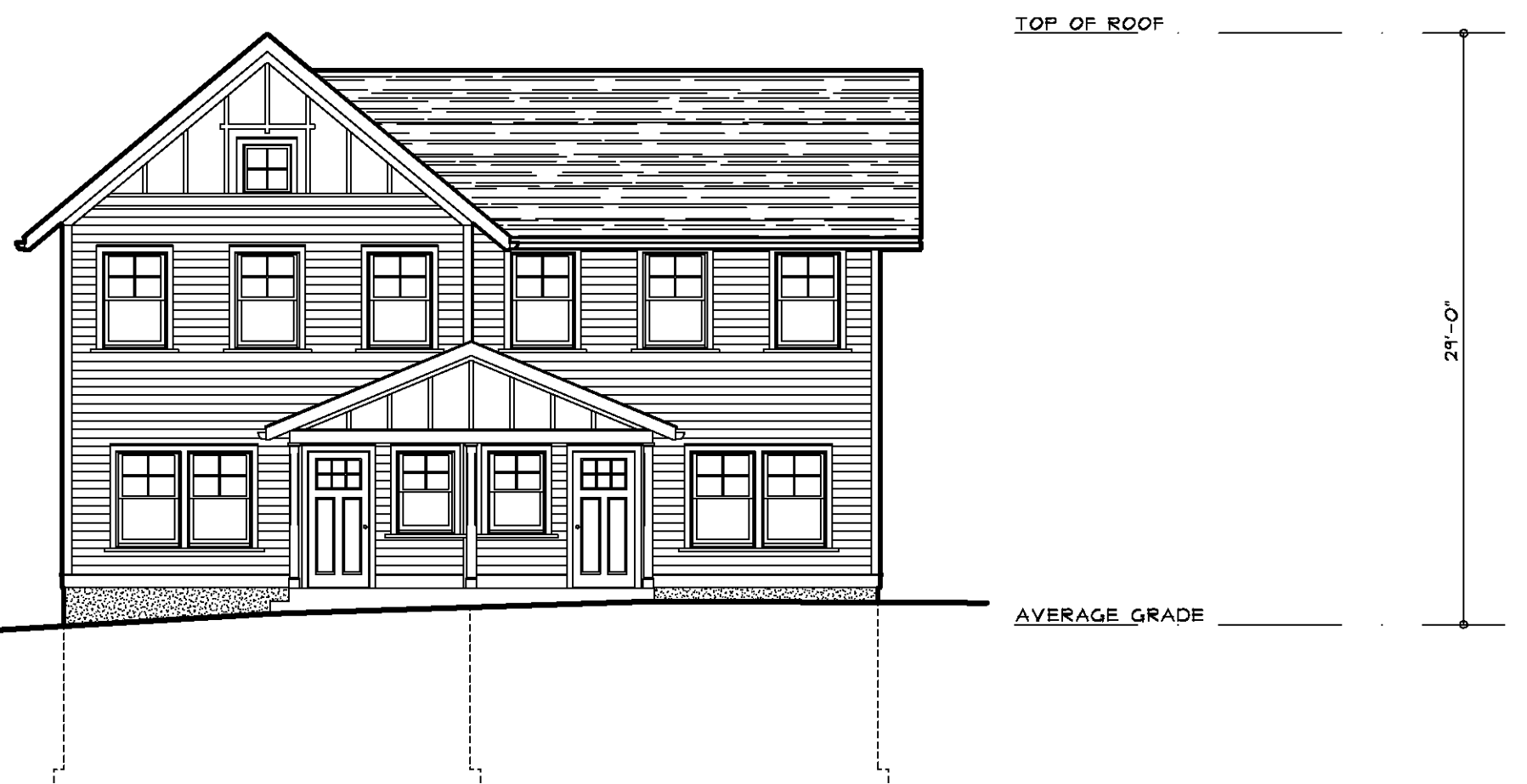


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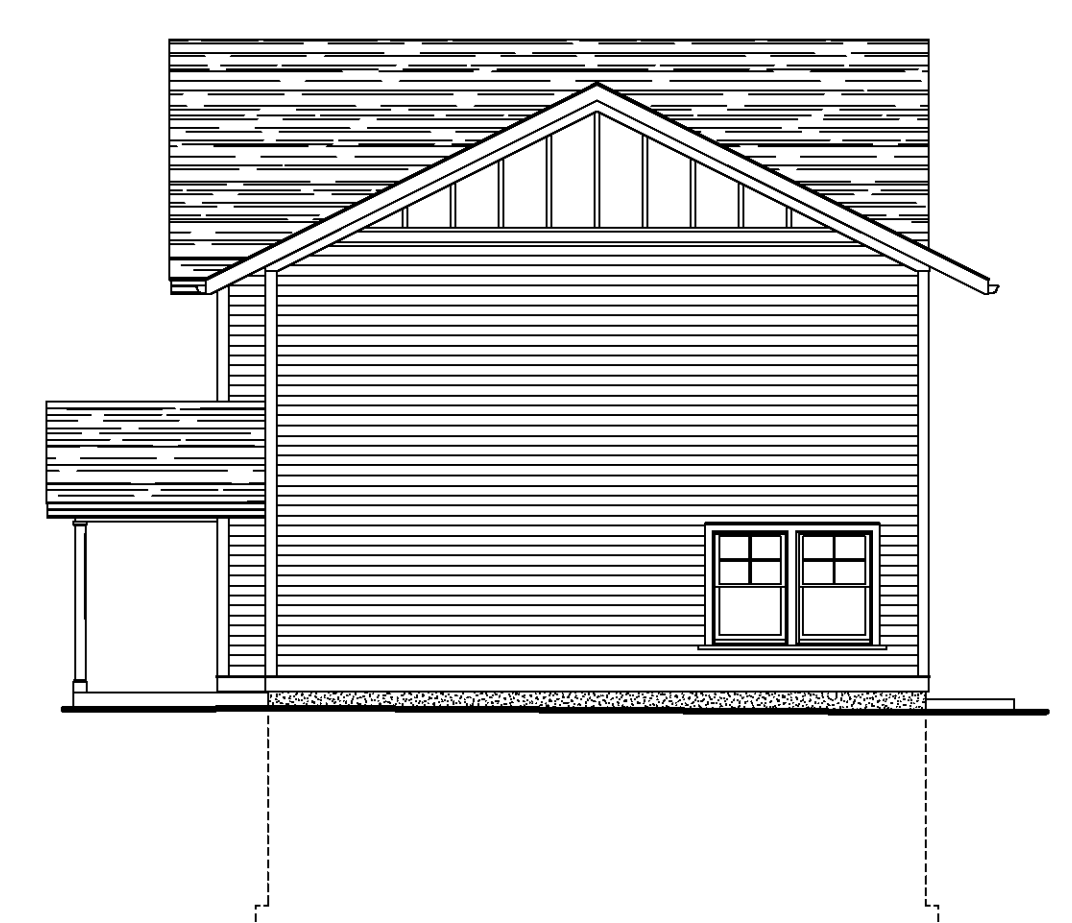


SECOND FLOOR PLAN  
SCALE : 1/8" = 1'-0"

CEILING  
SECOND FLOOR  
FIRST FLOOR  
BASEMENT



NORTH (FRONT) ELEVATION  
SCALE : 1/8" = 1'-0"

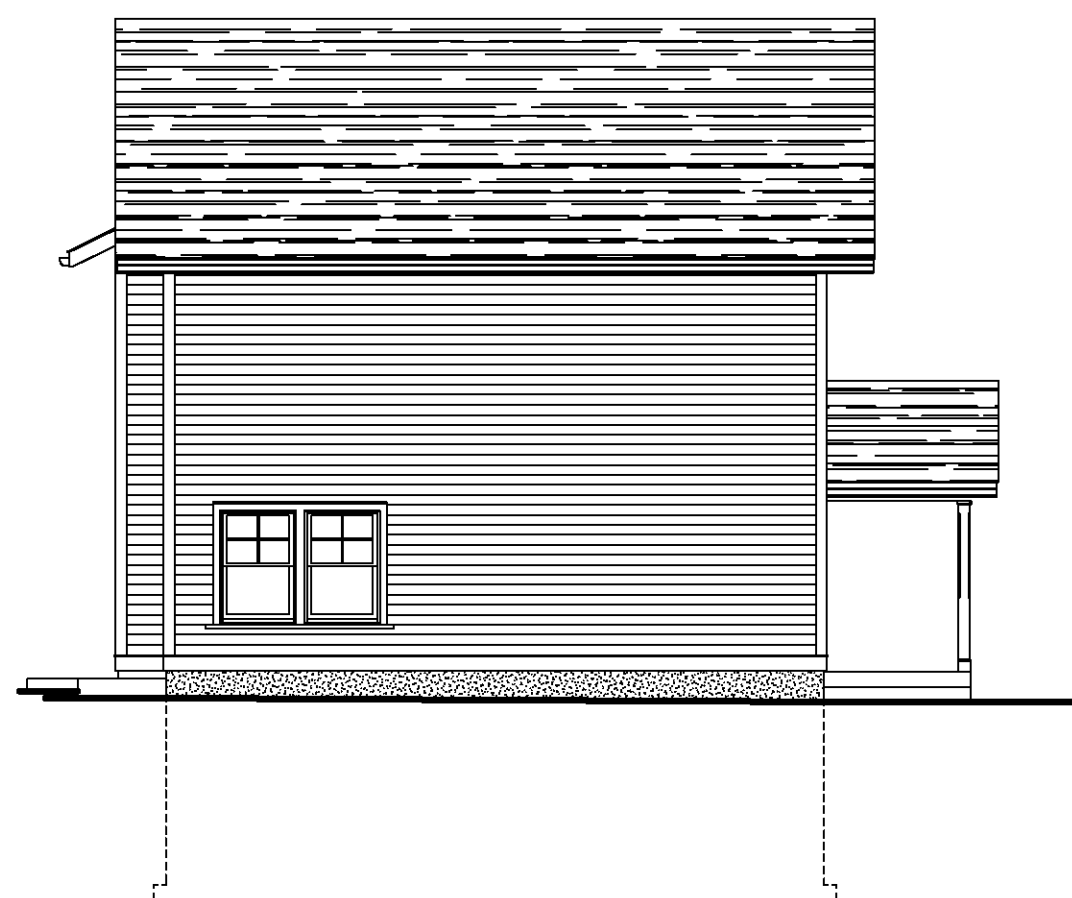


WEST ELEVATION  
SCALE : 1/8" = 1'-0"

CEILING  
SECOND FLOOR  
FIRST FLOOR  
BASEMENT



SOUTH ELEVATION  
SCALE : 1/8" = 1'-0"



EAST ELEVATION  
SCALE : 1/8" = 1'-0"

NO.	DATE	REVISIONS
3	08-14-13	BOARD SUBMITTAL SET
2	07-25-13	REVIEW SET
1	04-17-13	REVIEW SET

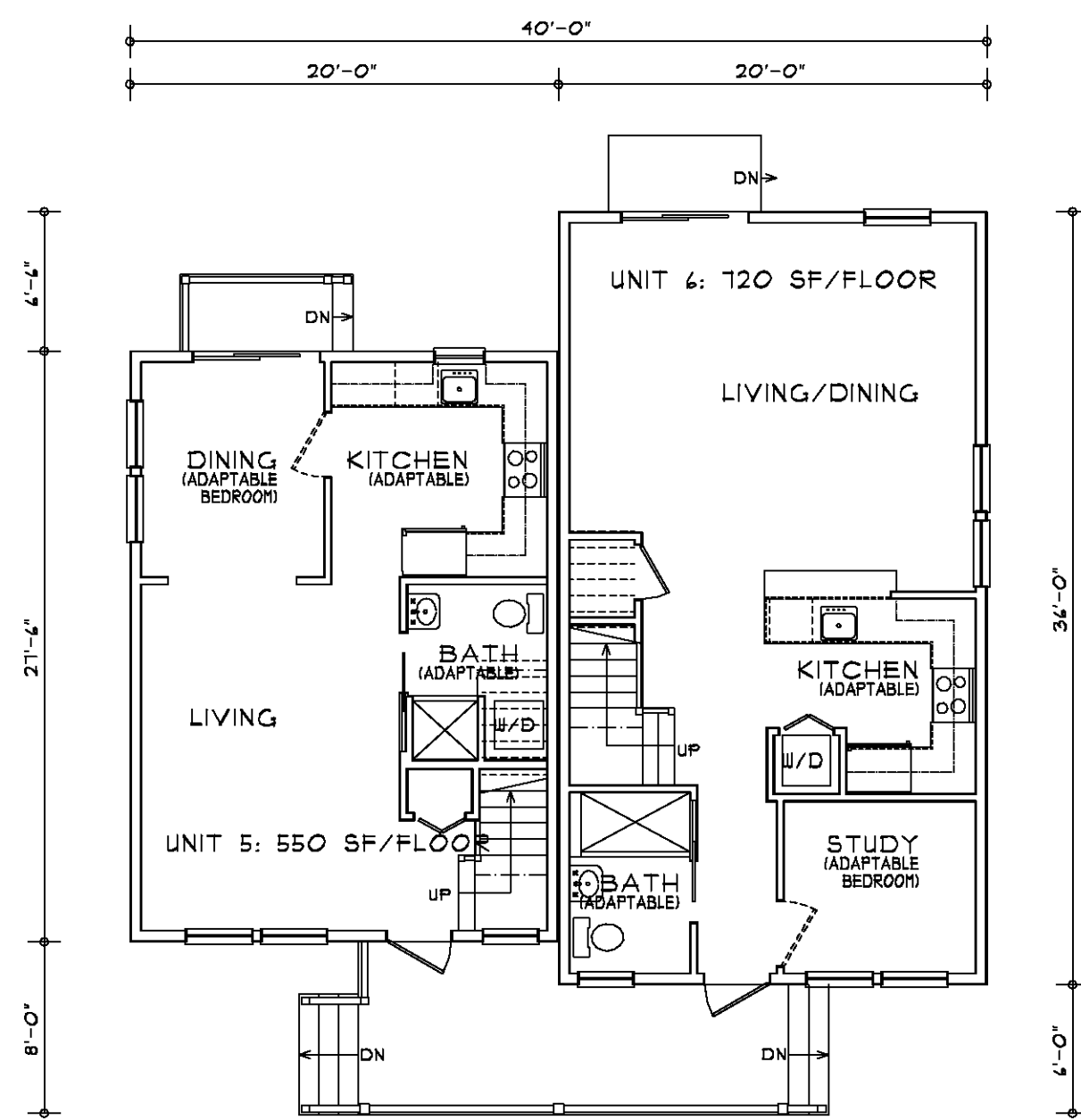
THREE PROPOSED  
TWO FAMILY DWELLINGS  
DEY and TALBOT STREETS  
MONTCLAIR, NEW JERSEY

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N.Y. 018797  
N.J. ASO 0085 P.L.A.  
N.J. LIO 3426 P.P.

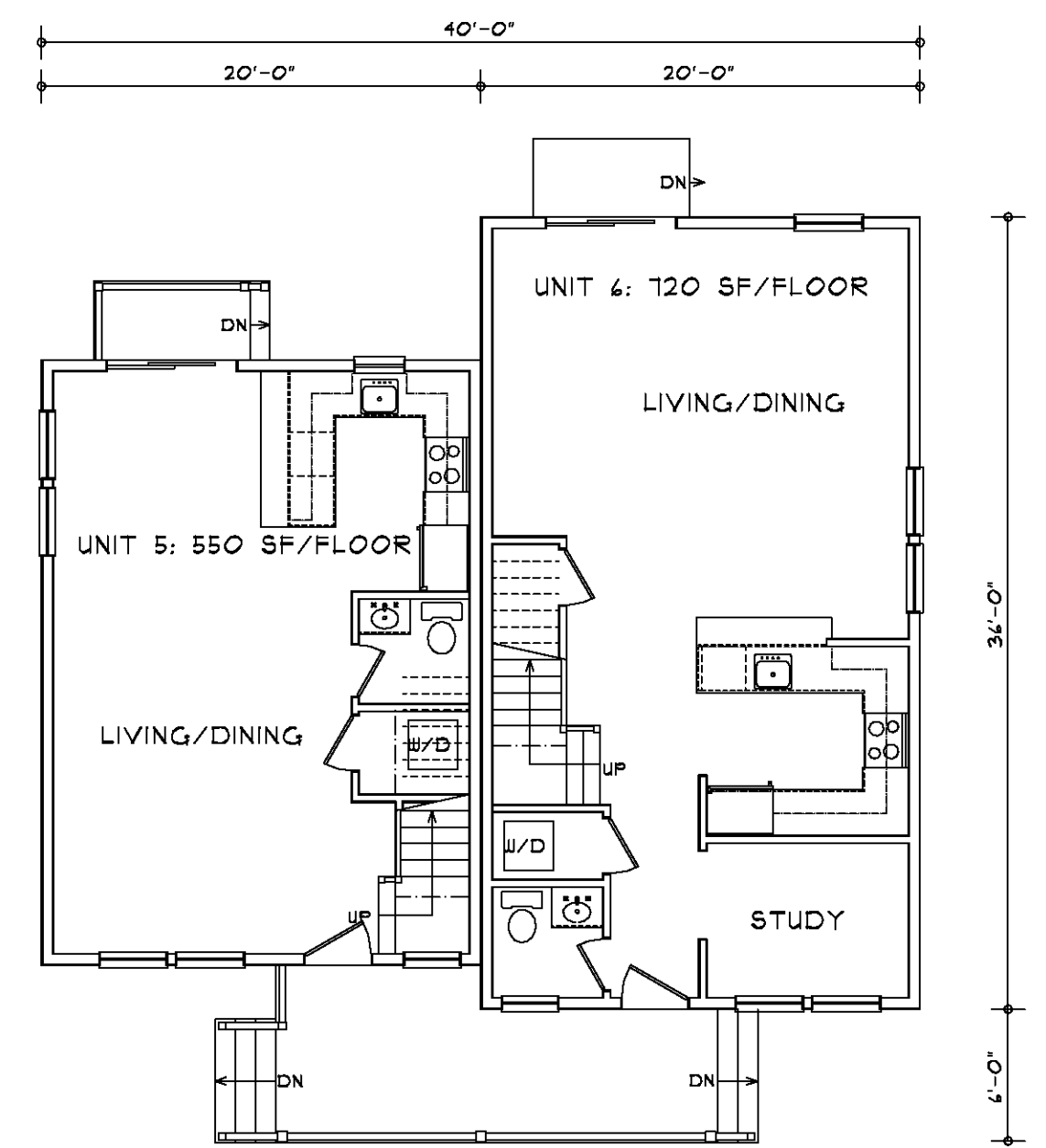
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BUILDING PLANS  
BUILDING ELEVATIONS  
PROJECT NO. 11-1011  
DATE 08-08-13

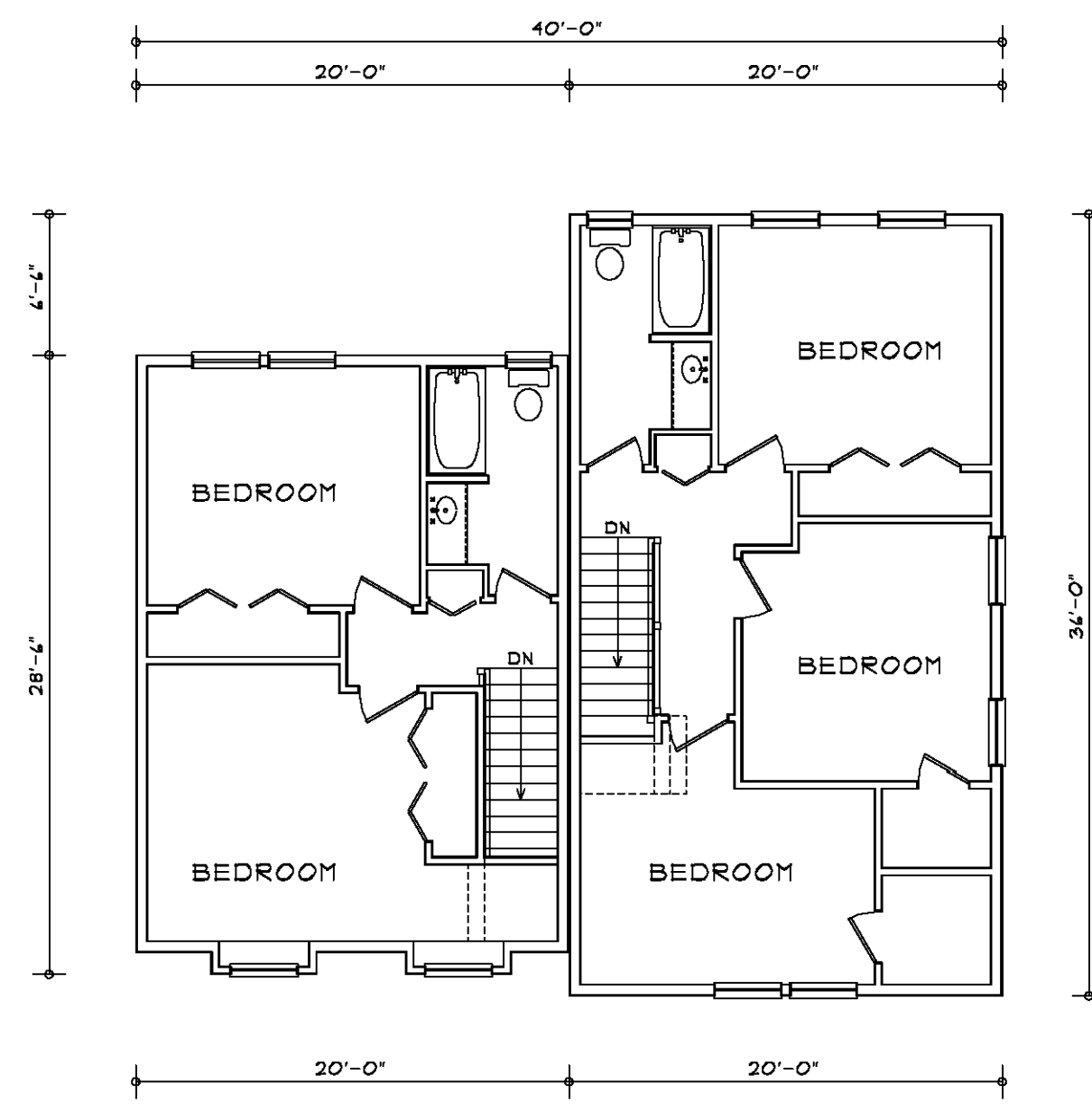




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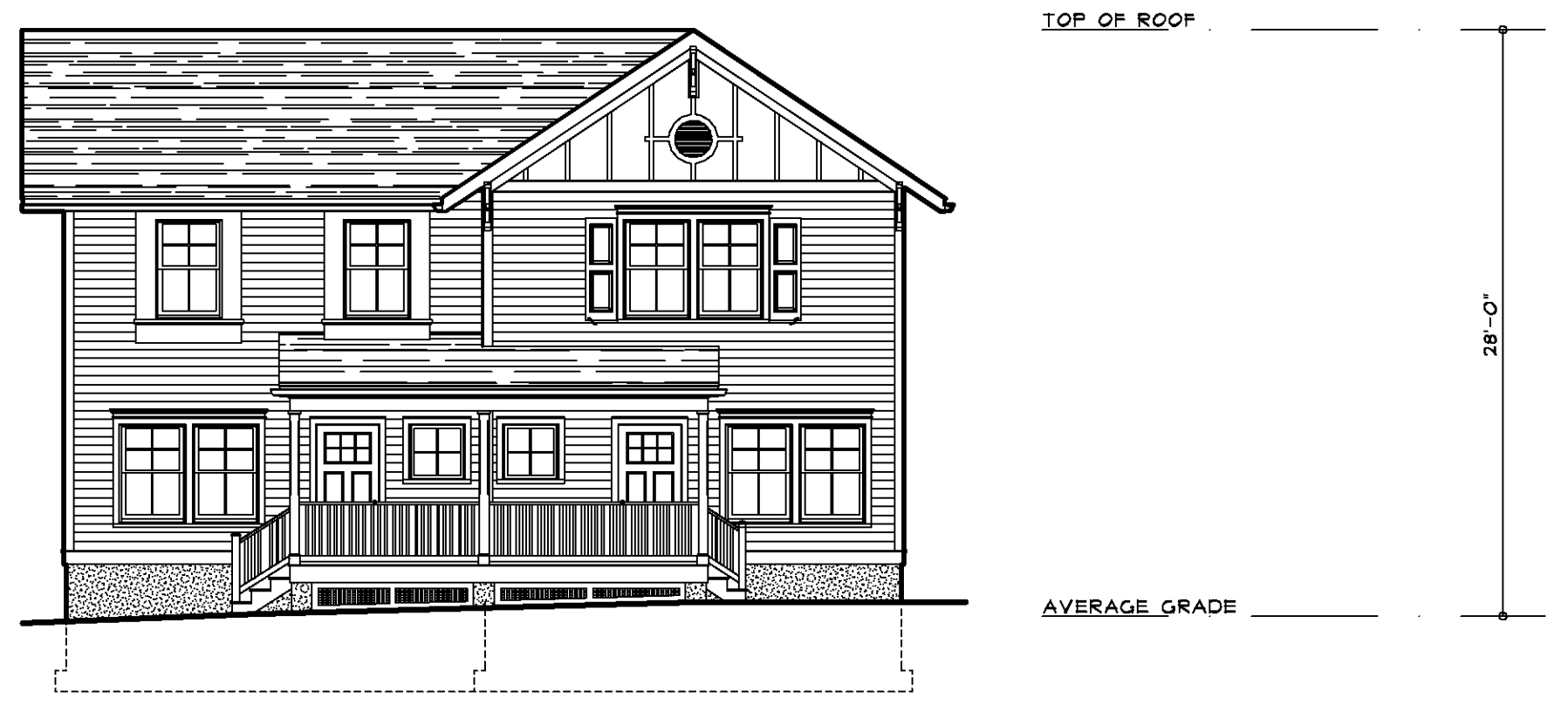


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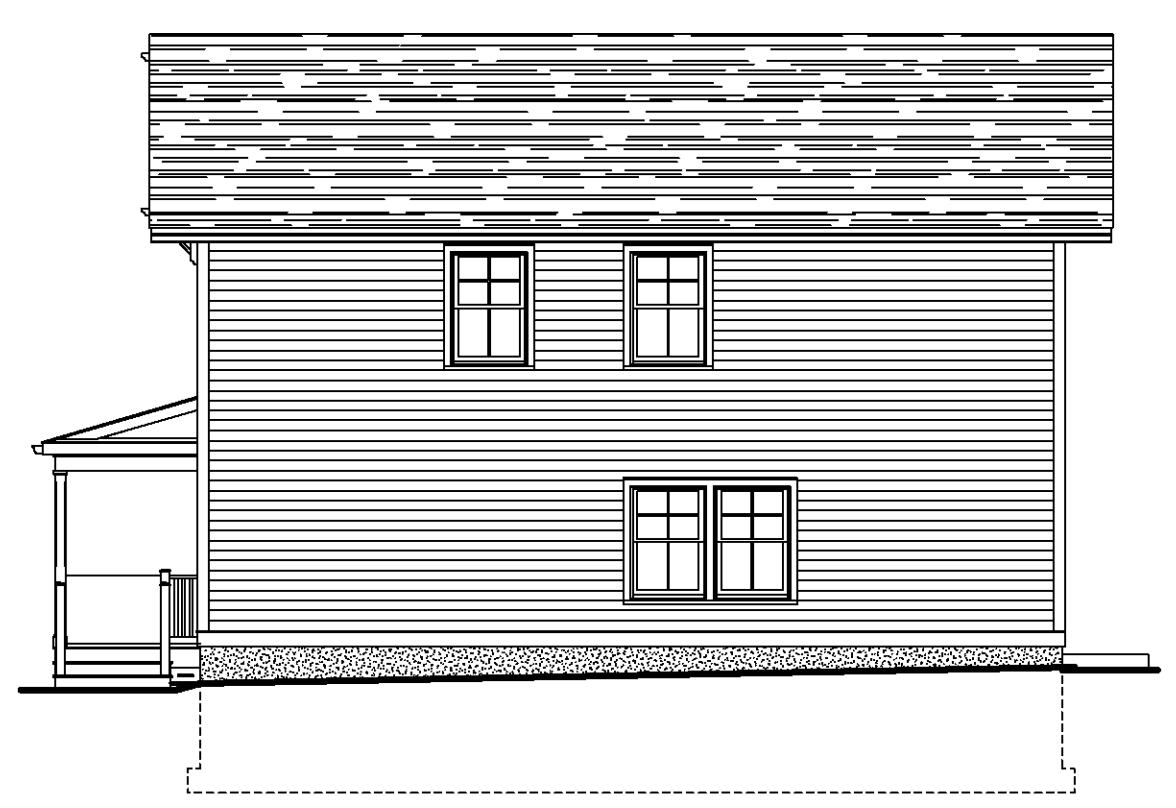


SECOND FLOOR PLAN  
SCALE : 1/8" = 1'-0"

CEILING  
SECOND FLOOR  
FIRST FLOOR  
BASEMENT



NORTH (FRONT) ELEVATION  
SCALE : 1/8" = 1'-0"

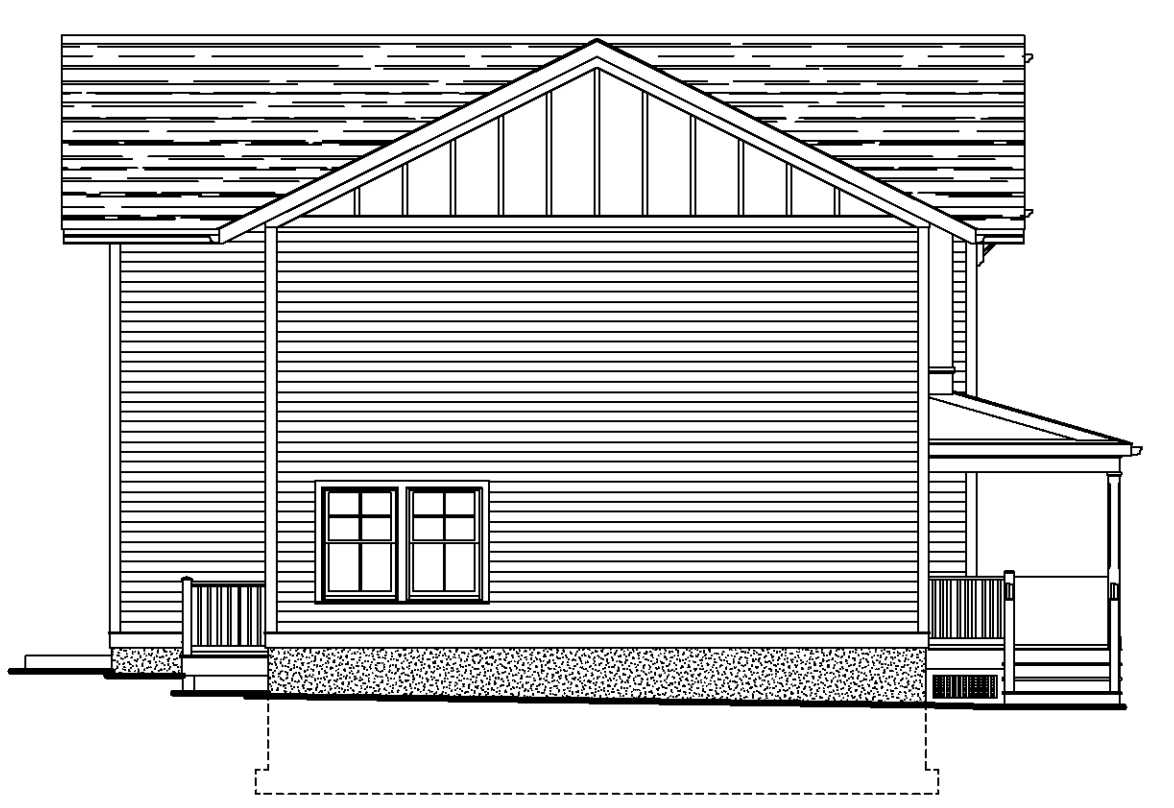


WEST ELEVATION  
SCALE : 1/8" = 1'-0"

CEILING  
SECOND FLOOR  
FIRST FLOOR  
BASEMENT



SOUTH ELEVATION  
SCALE : 1/8" = 1'-0"



EAST ELEVATION  
SCALE : 1/8" = 1'-0"

NO.	DATE	REVISIONS
3	08-14-13	BOARD SUBMITTAL SET
2	07-25-13	REVIEW SET
1	04-11-13	REVIEW SET

THREE PROPOSED  
TWO FAMILY DWELLINGS  
DEY and TALBOT STREETS  
MONTCLAIR, NEW JERSEY

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N.Y. 01870  
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N.J. LIO 3425 P.P.

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BUILDING C  
BUILDING PLANS  
BUILDING ELEVATIONS  
PROJECT NO. 11-1011  
DATE 08-08-13

SHEET NO. **A3**  
6 OF 6