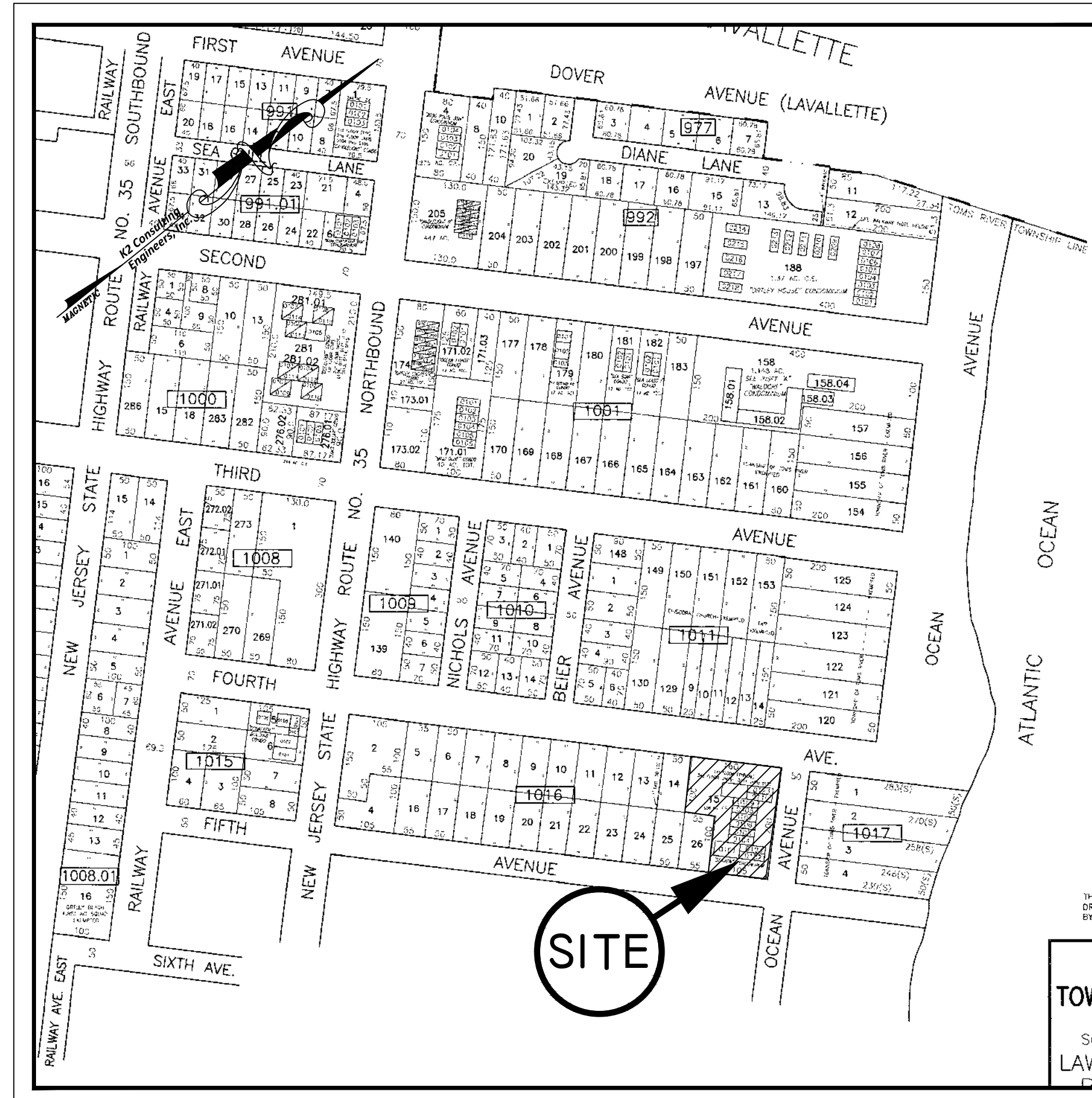


PRELIMINARY/FINAL SITE PLAN FOR SEA VIEW CONDOMINIUM ASSOCIATION RECONSTRUCTION TAX MAP PLATE 108.02 - BLOCK 1016 - LOT 15 TOWNSHIP OF TOMS RIVER OCEAN COUNTY, NEW JERSEY

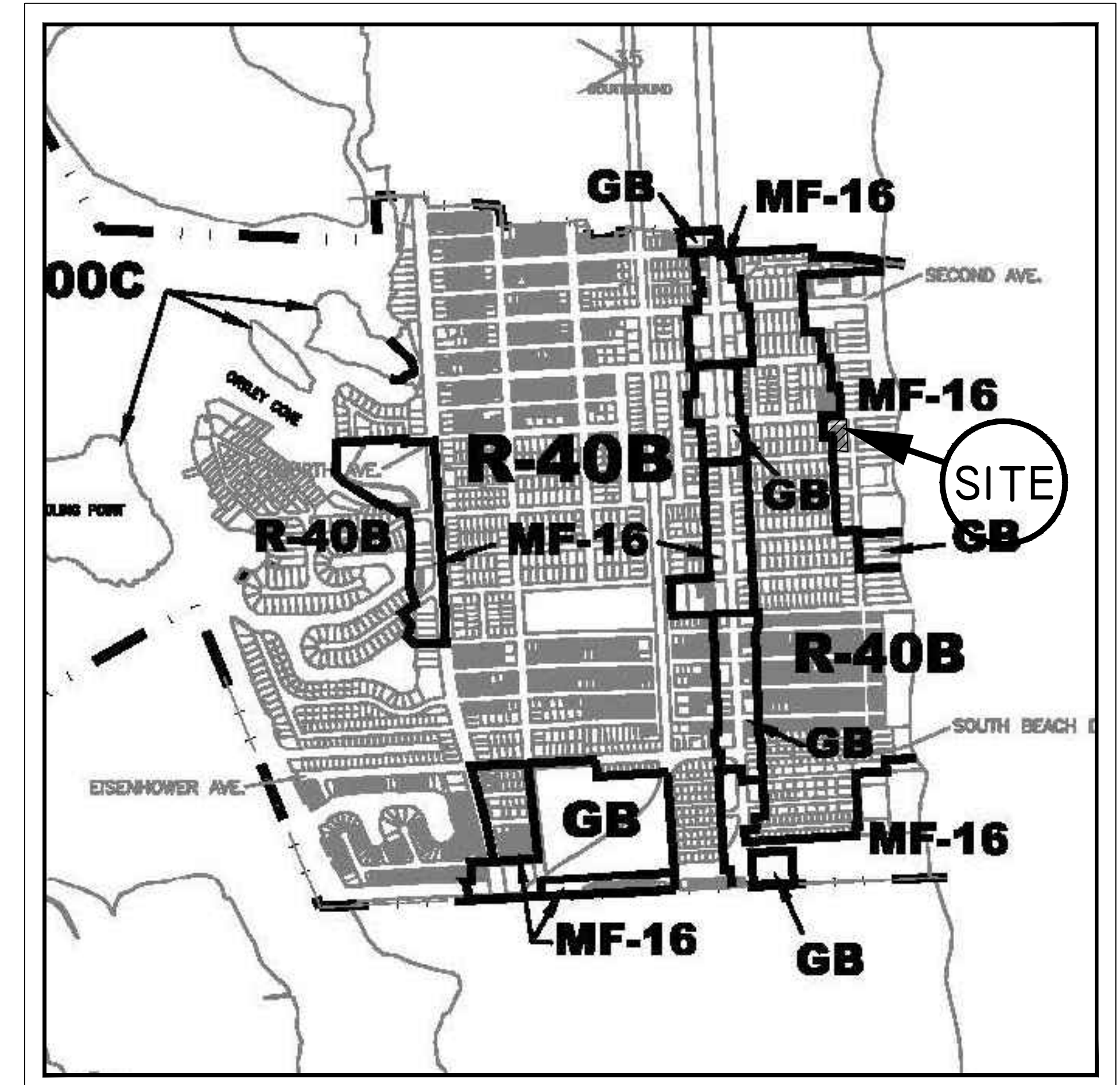
REVISION:	DATE
RELOCATED BLDG. PER ZONING BOARD HEARING	8/1/14
REVISED PER NUDEP REVIEW	9/22/14
REVISED FOR RESOLUTION COMPLIANCE	1/20/15
REV. LANDSCAPE NO. #2 PER NUDEP	1/29/15



USGS MAP
1"=2000'



TAX MAP
NOT TO SCALE



ZONING MAP
NOT TO SCALE

SHEET INDEX		
SHEET NO.	DESCRIPTION	LAST REVISION
1 of 6	COVER SHEET	1/29/15
2 of 6	PROJECT INFORMATION SHEET & SESC NOTES	1/29/15
3 of 6	EXISTING CONDITIONS AND DEMOLITION PLAN	1/20/15
4 of 6	SITE LAYOUT PLAN	1/20/15
5 of 6	GRADING, SESC, LANDSCAPING & LIGHTING PLAN	1/20/15
6 of 6	CONSTRUCTION DETAILS PLAN	1/20/15

NOTE

THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND OTHER AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "FINAL ISSUED FOR CONSTRUCTION".

APPROVED BY THE ZONING BOARD ENGINEER OF TOMS RIVER TOWNSHIP, OCEAN COUNTY, NEW JERSEY

ZONING BOARD ENGINEER _____ DATE _____

APPROVED BY THE ZONING BOARD OF TOMS RIVER TOWNSHIP, OCEAN COUNTY, NEW JERSEY

ZONING BOARD CHAIRMAN _____ DATE _____

ZONING BOARD SECRETARY _____ DATE _____

MUNICIPAL CLERK _____ DATE _____

THE UNDERSIGN CERTIFIED THAT HE IS THE OWNER OF RECORD AND CONCURS WITH THIS PLAN

OWNER: SEAVIEW CONDOMINIUM ASSOCIATION, INC.
c/o TMK PROPERTY MANAGEMENT & CONSULTING, INC.
169 WASHINGTON ROAD
PRINCETON, NJ 08540

OWNER _____ DATE _____

JOHN W. KORNICK, P.E.
Professional Engineer New Jersey Lic. No. GE04928500

COVER SHEET

TITLE: **K2**
Consulting Engineers, Inc.

Professional Civil Engineers
Certificate of Authorization
#24GA28187400

918 Kings Highway
Haddon Heights, NJ 08034
Phone - 856.310.5205
Fax - 856.310.5207
www.K2CE.com

DATE: 3/11/2013
DESIGN BY: JK
DRAWN BY: SM
SCALE: AS SHOWN
PLAN NO.: ---
JOB NO.: PD13-141
SHEET 1 OF 6

DWG. NAME: W:\LAND PROJECTS\PD13-141\dwg\cover.dwg

CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT HIS WORK IN FULL ACCORDANCE WITH THE REQUIREMENTS OF ALL REGULATIONS AND AUTHORITIES HAVING JURISDICTION AT NO COST TO THE OWNER.
2. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
3. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE TOWNSHIP SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS AND APPLICABLE LAWS.
4. ALL SITE IMPROVEMENTS, I.E. ASPHALT PAVING AND CONCRETE FLATWORK, SHALL BE INSTALLED ACCORDING WITH THE LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION, INCLUDING ALL ADDENDA, EXCEPT AS MODIFIED, SUPPLEMENTED, AMENDED OR SUPERSEDED BY THE IMPROVEMENT PLANS.
5. EXISTING ASPHALT CONCRETE PAVEMENT SHALL BE CUT AND REMOVED IN SUCH A MANNER SO AS NOT TO TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL. ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
6. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND, PRIOR TO PROCEEDING WITH CONSTRUCTION, IN TO DETERMINE THE CORRECTIVE MEASURES.
7. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED OR BURNED ON SITE. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE.
8. EXISTING TOPSOIL ON SITE IS TO BE PROTECTED. NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX INCHES OF COVER TO ALL AREAS OF THE PROPERTY AND SHALL BE STABILIZED BY SEEDING OR PLANTING. UNDER NO CIRCUMSTANCES SHALL ANY SOIL OR EARTH BE SOLD OR OTHERWISE REMOVED FROM THE SITE, UNLESS APPLICATION IS MADE AND APPROVAL GRANTED BY THE TOWNSHIP ENGINEER.
9. NO MATERIAL SHALL BE PLACED OR DISTURBED BEYOND THE PROPERTY LINE OF RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNERS DIRECTLY INVOLVED. ANY PRIVATE PROPERTY THAT MAY BE DISTURBED AND/OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED, REPAIRED, AND/OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
10. NO CONSTRUCTION SHALL BE PERMITTED WHICH CREATES OR AGGRAVATES WATER STAGNATION OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
11. ALL SLOPES EXCEEDING 4:1 SHALL BE PROVIDED WITH AN EROSION CONTROL MATTING TO PROTECT AGAINST EROSION AND PROMOTE GROWTH OF VEGETATION.
12. MEET EXISTING GRADES AT ALL LIMITS OF CONSTRUCTION.
13. ALL IMPORTED TOPSOIL AND/OR FILL MATERIAL MUST INCLUDE A WRITTEN CERTIFICATION THAT THE SOIL IS CLEAN SOIL.
14. NO REPRESENTATION OF A BALANCED CUT AND FILL SITE IS MADE BY THE ENGINEER. IF ADDITIONAL CLEAN FILL OR SELECT FILL IS REQUIRED THE CONTRACTOR IS TO SUPPLY SAID MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
15. ALL DISTURBED AREAS SHALL BE TOPSOILED AND SEEDED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.

LANDSCAPE NOTES:

- 1. ALL PLANTINGS SHALL BE CONTAINED WITHIN MULCHED BEDS. MULCH DOUBLE SHREDED HARDWOOD BARK OR ROOT MULCH SHALL BE APPLIED AT DEPTH OF THREE INCHES OR TREATED WITH DECORATIVE COBBLE OR STONE.
2. PLANT SIZES SHOWN IN PLANTING SCHEDULE ARE THE SIZE AT TIME OF PLANTING. ALL TREES SHALL BE SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
3. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
4. TWO YEAR MAINTENANCE GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE. UNLESS OTHERWISE NOTED SURVIVING FOR A PERIOD OF TWO (2) YEARS SHALL BE REPLACED WITH THE SAME OR EQUIVALENT SIZE SPECIES. DEAD OR DYING TREES SHALL BE REPLACED BY THE DEVELOPER DURING THE NEXT SUITABLE PLANTING SEASON.
5. ALL UNSURFACED AREAS ARE TO RECEIVE SIX (6") INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
6. EXISTING TREES TO REMAIN WITHIN THE DEVELOPMENT AREA SHALL BE SELECTIVELY PRUNED ANY DEAD OR DYING LIMBS.
7. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ACTUAL NUMBER OF PLANTS ON THE PLAN, THE NUMBER OF PLANTS SHOWN ON THE PLAN SHALL PREVAIL.
8. LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR UTILITY, GRADING, STORM WATER MANAGEMENT, AND SOIL EROSION CONTROL INFORMATION THAT MAY NEED TO BE COORDINATED WITH LANDSCAPE WORK.
9. PLANT MATERIALS THAT HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, WINDBURN, DISCOLD KNOTS, INSECT OR DISEASE DAMAGE, OR OTHER PESTS SHALL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED.
10. PLANT MATERIAL SHALL BE WELL-GROWN AND TRUE TO FORM FOR SIZE AND SPECIES. STUNTED OR LEGGY PLANT MATERIAL WILL BE REJECTED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
12. THE CONTRACTOR SHALL STAKEOUT PLANTINGS FOR THE OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO BEGINNING WORK.
13. THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES MAY EXIST AND HE SHOULD SECURE CURRENT UTILITY PLANS BEFORE COMMENCING WORK.
14. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
15. SHOULD LOCATION OF LARGE DECIDUOUS TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' TO WIRES.
16. EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE SHALL BE PROTECTED AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BURNING OF BARK, SMOOTHERING OF ROOTS BY STOCK PILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIAL WITHIN DRIP LINE, EXCESS FOOT OR VEHICLE TRAFFIC OR PARKING OF VEHICLES WITHIN DRIP LINE.
17. THE CONTRACTOR SHALL REFER TO THE "EXISTING TREE PROTECTION DETAIL", AS PROVIDED ON THE DETAIL SHEETS FOR SPECIFIC MEASURES RELATIVE TO THE PROTECTION OF EXISTING TREES BOTH ON- AND OFF-SITE.
18. EXOTIC AND INVASIVE SPECIES SHALL NOT BE PERMITTED. NATIVE SPECIES ARE ENCOURAGED.
19. TREES SHALL BE PRUNED ANNUALLY. THE USE OF TREE WRAP SHALL BE PROHIBITED.

SOIL EROSION CONTROL NOTES

- 1. THE OCEAN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY LAND DISTURBANCE.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
5. N.J.S.A 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THERE HAS BEEN COMPLIANCE WITH PROVISIONS OF A CERTIFIED PLAN FOR PERMANENT MEASURES. ALL SITE WORK, AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN THIRTY (30) DAYS, AND NOT SUBJECT TO THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 TO 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
8. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
9. ANY STEEP SLOPES (3:1 OR GREATER) OR ANY EXISTING ROADWAYS RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES.
10. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD AT ALL CONSTRUCTION DRIVEWAYS WHERE VEHICLES WILL ACCESS PAVED ROADWAYS FROM UNPAVED AREAS OF THE SITE.
11. ALL SEDIMENT WASHED, DROPPED, SPILLED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES WILL BE REMOVED IMMEDIATELY.
12. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. AT THE TIME OF THE FINAL INSPECTION, YOU ARE REQUIRED TO PROVIDE CONFIRMATION THAT THE PROPER TYPE AND AMOUNT OF SEED, LIME AND FERTILIZER HAVE BEEN USED FOR PERMANENT STABILIZATION WORK. STRAW MULCH IS REQUIRED ON ALL SEEDING.
13. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
15. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
16. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
17. SHEET THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
18. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPLES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
19. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
20. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

Table with 3 columns: MEASURE, DURATION, and other details. Includes rows for notifying the engineer, installing erosion control, strip topsoil, rough grade site, construct pavement, and remove erosion control measures.

SEEDING SCHEDULE

- 1. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH MULCH AS INDICATED IN NOTE #7 OF THE SOIL EROSION CONTROL NOTES.
2. PERMANENT SEEDING SHALL CONSIST OF MIXTURE NO. 15 AS SPECIFIED IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN FEBRUARY 1 AND APRIL 30 AND BETWEEN AUGUST 15 AND NOVEMBER 15.
3. PERMANENT SEEDING TO BE APPLIED BY HYDROSEEDING AT A RATE OF 1500 LBS. PER ACRE, SLOPED AREAS TO BE COVERED WITH MULCH AS INDICATED IN NOTE #7 OF THE SOIL EROSION CONTROL NOTES. NOTE: HYDROSEEDING IS ALLOWABLE ONLY DURING THE SEEDING SEASONS LISTED IN NOTE #2 ABOVE AND ON FLAT AREAS.
4. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 1 TON/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE.
5. ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD-FIBER MULCH BINDER OR LIQUID MULCH BINDER AT A RATE OF 70-90 LBS. PER 1000 SF, EXCEPT THAT WHERE A CRIMPER IS USED, THE RATE OF APPLICATION IS 3 TONS PER ACRE. AN APPROVED EQUAL IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY MAY ALSO BE USED FOR MULCHING.
6. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS ARE TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE #7 OF THE SOIL EROSION CONTROL NOTES.

LIST OF PROPERTY OWNERS W/ 200 FT

Large table listing property owners with columns for Block, Lot, Owner, Property Location, Address, Address, Town, State, Zip, and Soil in the Attention.

UTILITY NOTES:

- 1. THE CONTRACTOR SHALL NOTIFY THE NEW JERSEY GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE AT 1-800-272-1000 A MINIMUM OF FIVE (5) DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM VARIOUS SOURCES & ARE NOT GUARANTEED AS TO THEIR EXACT LOCATION BE RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES AND THE OCEAN COUNTY ENGINEERING DEPARTMENT AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE EXACT LOCATION AND DEPTH OF ALL EXISTING WATER, GAS, SANITARY SEWER, TRAFFIC, ELECTRIC, PHONE, AND T.V. SERVICE LOCATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR REMEDIATION. IN ADDITION, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING CONSTRUCTION AND COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
4. THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER UNDER SPECIFICALLY NOTED OTHERWISE.
5. ALL ELECTRIC, TELEPHONE, TELEVISION, AND OTHER COMMUNICATION FACILITIES, BOTH MAIN AND SERVICE LINES SERVICING THE NEW DEVELOPMENT, SHALL BE PROVIDED BY UNDERGROUND WIRING WITHIN EASEMENTS OR DEDICATED PUBLIC RIGHTS-OF-WAY.
6. ALL CONSTRUCTION MATERIALS, TESTING & METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE APPROPRIATE UTILITY AUTHORITY AND THE TOWNSHIP. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE REPRESENTATIVE UTILITY AUTHORITY SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE PLAN, SPECIFICATIONS AND APPLICABLE LAWS.
7. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN EIGHT (8) INCH LAYERS COMPACTED TO 95% DENSITY IN STRICT ACCORDANCE WITH THE TRENCH DETAILS & SPECIFICATIONS.
8. WHENEVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUSTAIN THE WEIGHT OF THE PIPE & SUPERIMPOSED LOADS, THE TRENCH BOTTOM SHALL BE OVER-EXCAVATED & STABILIZED WITH SIX (6) INCHES MINIMUM THICK LAYERS OF CRUSHED STONE, AS DIRECTED BY THE ENGINEER.
9. THE CONTRACTOR SHALL CONSTRUCT TEST PITS AS REQUIRED TO VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROPOSED FACILITIES.
10. ALL ABOVE GROUND UTILITY APPARATUS SHALL BE PROVIDED WITH YEAR ROUND SCREENING.
11. CONTRACTOR EFFORTS SHALL BE MADE TO RETAIN EXISTING TREES, VEGETATION, AND NATURAL CHARACTERISTICS OF THE TRACT.
12. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE NOTICES NECESSARY FOR THE INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
13. NO MATERIALS SHALL BE PLACED NOR ANY DISTURBANCE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING, PAVING, TOPSOILING, SODDING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES.
15. PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 251 OR THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.

GENERAL NOTES:

- 1. OWNER/APPLICANT: SEAVIEW CONDOMINIUM ASSOCIATION, INC. c/o TMK PROPERTY MANAGEMENT & CONSULTING, INC. 169 WASHINGTON ROAD PRINCETON, NJ 08540
2. TRACT IS KNOWN AS BLOCK 1016 LOT 15 AS SHOWN ON PLATE 108.02 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF TOMS RIVER.
3. TOTAL TRACT IS 26,500 SF (0.608± ACRE).
4. THE SUBJECT TRACT IS ZONED IN MF-16 MULTI-FAMILY ZONE AS INDICATED ON THE ZONE MAP DATED JANUARY 12, 2008.
5. PRESENT USE: VACANT LOT (PREVIOUSLY CONDOMINIUM BUILDING, DAMAGED BY SUPERSTORM SANDY 10/2012)
6. PROPOSED USE: CONDOMINIUM BUILDING
7. TOPOGRAPHIC & EXISTING CONDITION INFORMATION HAS BEEN BASED UPON A FIELD SURVEY PERFORMED BY JEFFREY R. GELLENTHIN, P.L.S. OF K2 CONSULTING ENGINEERS, INC., ON JANUARY 28, 2014.
8. LOT LINES AND ADJOINING LOT LINES SHOWN HEREON ARE TAKEN FROM THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF TOMS RIVER.
9. THIS PLAN PROPOSES THE RECONSTRUCTION OF THE SEAVIEW CONDOMINIUM BUILDING WHICH HAS BEEN DEMOLISHED DUE TO DAMAGE FROM SUPERSTORM SANDY. THE PLAN ALSO PROPOSES THE CONSTRUCTION OF SIDEWALK, PARKING LOTS, UTILITIES, LANDSCAPING, AND LIGHTING.
10. NO PHASING IS PROPOSED FOR THIS DEVELOPMENT.
11. TO THE BEST OF OUR KNOWLEDGE, THIS PROPERTY IS NOT SUBJECT TO ANY KNOWN EXISTING EASEMENTS, DEED RESTRICTIONS, AND/OR PROTECTIVE COVENANTS. SHOULD ADDITIONAL RESEARCH REVEAL ANY OF THE ABOVE, THE PLANS SHALL BE MODIFIED ACCORDINGLY.
12. ALL ROOF DRAINS SHOULD BE OUTLETED SO THAT FLOW IS DIRECTED TOWARD THE ROADWAY FRONTAGE OR INTO DRAINAGE FACILITIES.
13. THIS PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN, ABFE: A01 (ELEV. 1.0, NAVD88) AS TAKEN FROM THE FEMA, REGION II COASTAL ANALYSIS AND MAPPING WEBSITE (WWW.REGION2COASTAL.COM).
14. PROPERTY DOES NOT CONTAIN, NOR IS IT ADJACENT TO, FRESHWATER WETLANDS AS PER THE NJDEP GIS DATABASE FOR OCEAN COUNTY.
15. THE PROJECT IS LOCATED WITHIN ENVIRONMENTALLY SENSITIVE BARRIER ISLAND STATE PLANNING AREA.
16. THE PROJECT IS LOCATED WITHIN THE ATLANTIC COAST (MANASQUAN TO BARNEGAT) WATERSHED, ATLANTIC COAST (HERRING IS TO RT 37) SUB-WATERSHED (HUC14 02040301910020).
17. RELOCATED GAS MAINS, TELEPHONE LINES, CABLE TELEVISION LINES AND ELECTRICITY LINES MUST BE INSTALLED UNDERGROUND. ACTUAL LOCATIONS OF THESE UTILITY SERVICES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
19. SITE SHALL BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
20. THE CONTRACTORS ARE REQUIRED TO CALL FOR A MARKOUT NOT LESS THAN THREE BUSINESS DAYS OR MORE THAN TEN BUSINESS IN ADVANCE OF COMMENCING ANY EXCAVATION WORK.
21. ALL ACCESSIBLE FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE NJ BARRIER-FREE SUBCODE 5.23-7 AND CURRENT A.D.A. REQUIREMENTS.
22. THE OWNER OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE NEW JERSEY CONSTRUCTION CODE AND CFR 1926-.32(i) (OSHA COMPETENT PERSON).
23. THE PROPOSED APPLICATION WILL REQUIRE APPROVALS FROM THE FOLLOWING AGENCIES:
- TOWNSHIP OF TOMS RIVER ZONING BOARD (APPROVED 9-18-14)
- OCEAN COUNTY PLANNING BOARD (APPROVED 5-21-14)
- OCEAN COUNTY SOIL CONSERVATION DISTRICT (APPROVED 5-12-14)
- NIDEP LAND USE REGULATION PROGRAM (CAFRA) (APPROVED 1-29-15)
24. A LIST OF VARIANCES AND WAIVERS IS PROVIDED ELSEWHERE, ON THIS SHEET.
25. THESE NOTES SHALL BE USED AS REFERENCE FOR THE ENTIRE SITE PLAN.
26. THE REGULATORY FLOOD ZONE ON THIS SITE IS A0 AND THE REGULATORY FLOOD HAZARD AREA ELEVATION OF THE SITE IS 10.36' NAVD88. THE DATUM FOR THE SITE IS NAVD88.
27. NO BASEMENT IS PROPOSED AS A PART OF THIS PROJECT.
28. A FOYER WITH A FLOOR THAT IS NOT ONE FOOT ABOVE THE FLOOD HAZARD AREA IS NOT PERMITTED.
29. GARAGES ARE NOT ALLOWABLE AND WILL NOT BE CONSTRUCTED AS PART OF THIS PROJECT.
30. THE AREA BELOW THE PROPOSED CONDOMINIUM BUILDING WILL BE USED SOLELY FOR BUILDING ACCESS AND/OR STORAGE AND THAT ENCLOSURE SHALL MEET THE REQUIREMENTS SET FORTH AT N.J.A.C. 7:13-11.5(N)2 & 3.
31. THE AREA BELOW THE PROPOSED CONDOMINIUM BUILDING WILL NOT BE ENCLOSED AND THE BUILDING WILL BE CONSTRUCTED ON PILLS.
32. THIS PROJECT IS NOT A "MAJOR DEVELOPMENT" AS DEFINED UNDER THE STORMWATER MANAGEMENT RULES.

SUMMARY OF REQUESTED WAIVERS & VARIANCES FROM ORDINANCE REQUIREMENTS

Table listing variances and waivers with columns for Section, Description, and Reference. Includes items like Multifamily Use Variance, Front Setback, Minimum Rear Setback, etc.

WAIVERS

SECTION 348-8.4.C(14): IRRIGATION

SUMMARY OF REQUESTED WAIVERS FROM THE TOWNSHIP'S SCHEDULE "A" CHECKLIST

Table listing waivers with columns for #, Description, and Reference. Includes items like Freshwater Wetlands Verification, Tree Management Plan, etc.

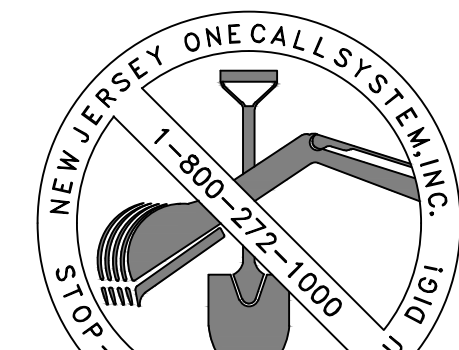
SUMMARY OF REQUESTED WAIVERS FROM THE TOWNSHIP'S SCHEDULE "B" CHECKLIST

Table listing waivers with columns for #, Description, and Reference. Includes items like Wetlands and Wetland Transition Area Boundaries, Features Required for Tree Management Plan, etc.

PROJECT SUMMARY:

THE SUBJECT PROPERTY IS LOCATED IN THE MF-16 MULTI-FAMILY ZONE OF TOMS RIVER TOWNSHIP, NJ. PRESENTLY, THE PROJECT SITE IS VACANT LAND. THE ORIGINAL BUILDING WAS DEMOLISHED AFTER SUPERSTORM SANDY.

THIS PROPOSED PRELIMINARY/FINAL SITE PLAN CONSISTS OF THE CONSTRUCTION OF A NEW CONDOMINIUM BUILDING WITH 23 UNITS. ALSO PROPOSED IS PAVEMENT CONSTRUCTION, UTILITIES, LANDSCAPING, LIGHTING AND PEDESTRIAN ACCESS IMPROVEMENTS.



JOHN W. KORNICK, P.E. Professional Engineer New Jersey Lic. No. GE04928500

REVISION:

Table with 3 columns: Description, Date, and other details. Includes entries for Relocated Bldg, Zoning Board Hearing, Revised Per NJDEP, etc.

PROJECT INFORMATION SHEET & SECC NOTES SEAVIEW CONDOMINIUM ASSOCIATION RECONSTRUCTION BLOCK 1016 - LOT 15 - TAX MAP PLATE 108.02

TOWNSHIP OF TOMS RIVER

OCEAN COUNTY

TOWNSHIP OF TOMS RIVER

TOWNSHIP OF TOMS RIVER

TOWNSHIP OF TOMS RIVER

TOWNSHIP OF TOMS RIVER

TOWNSHIP OF TOMS RIVER

TOWNSHIP OF TOMS RIVER

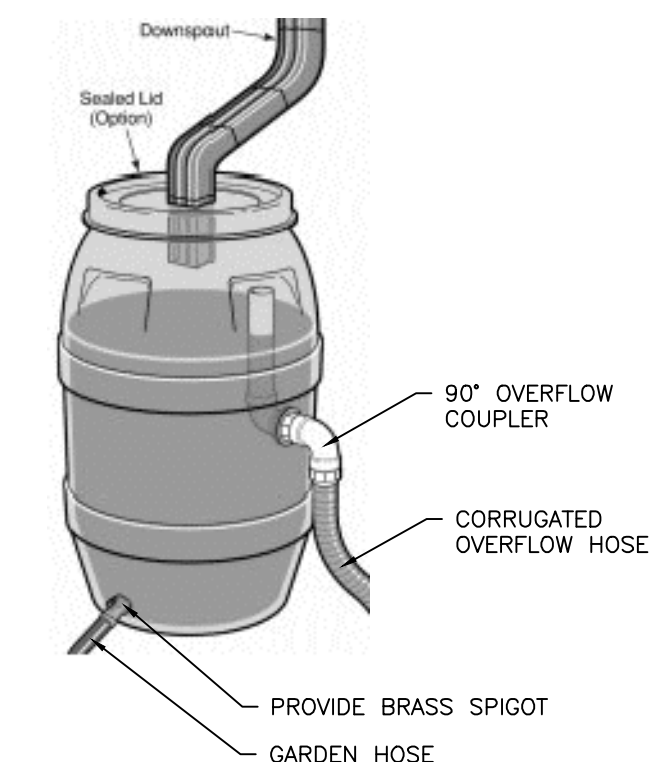
TOWNSHIP OF TOMS RIVER

DWG. NAME: W:\LAND PROJECTS\PD13-141\dwg\fcovr.dwg

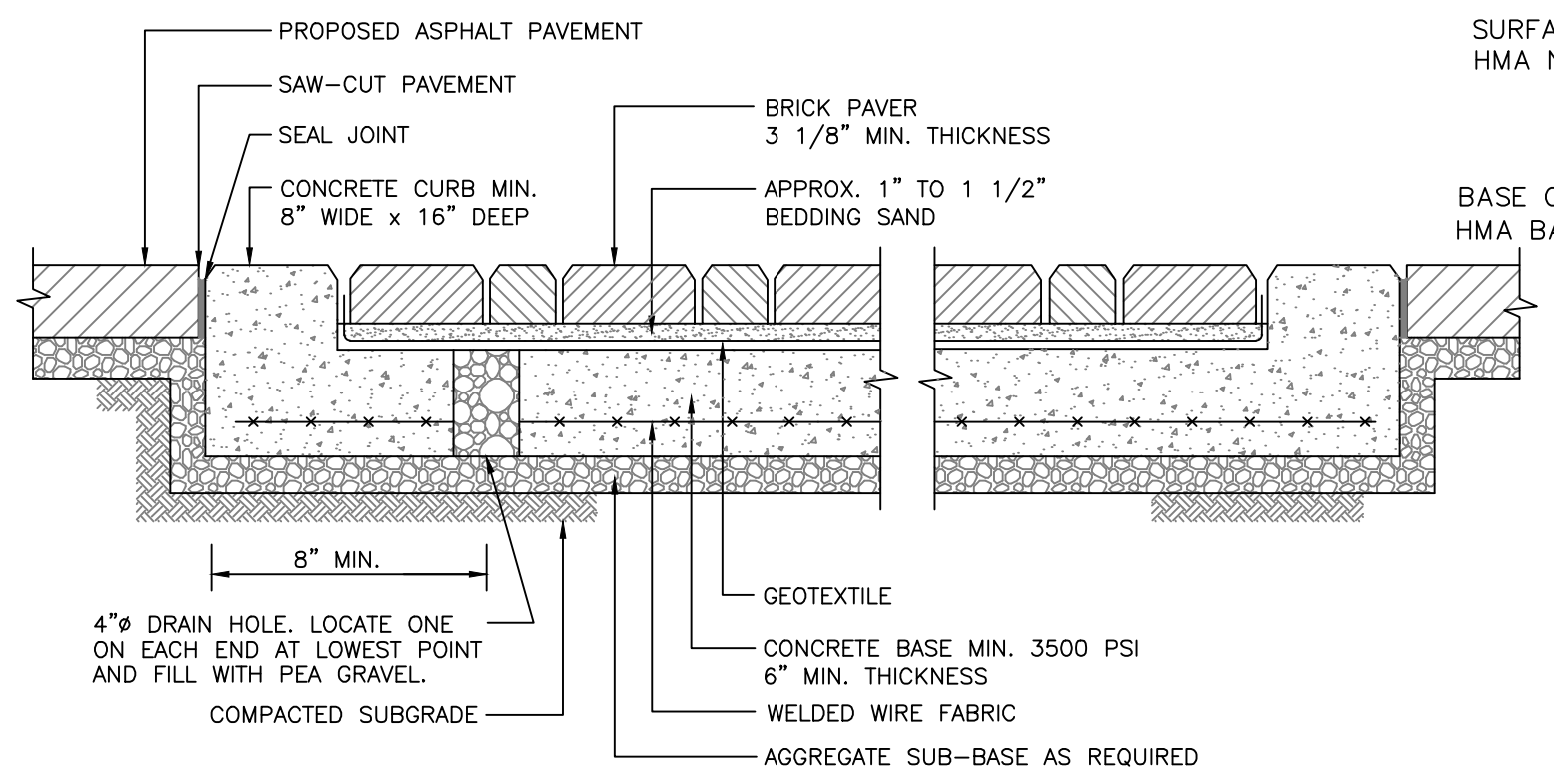
CURB RAMP TYPE 7 (SEE NOTE 7)				
W	H	X1	X2	L1
FEET	INCHES	FEET	FEET	FEET
4 MIN.	4	4	4	15
5	5	5	5	15
6	6	6	6	15
7	7	7	7	15
8	8	8	8	15
9	9	9	9	15

GENERAL NOTES:

- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRAMATICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB DROPPED CURB GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS WHERE THE CURB HEIGHTS ARE OTHER THAN THOSE IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.



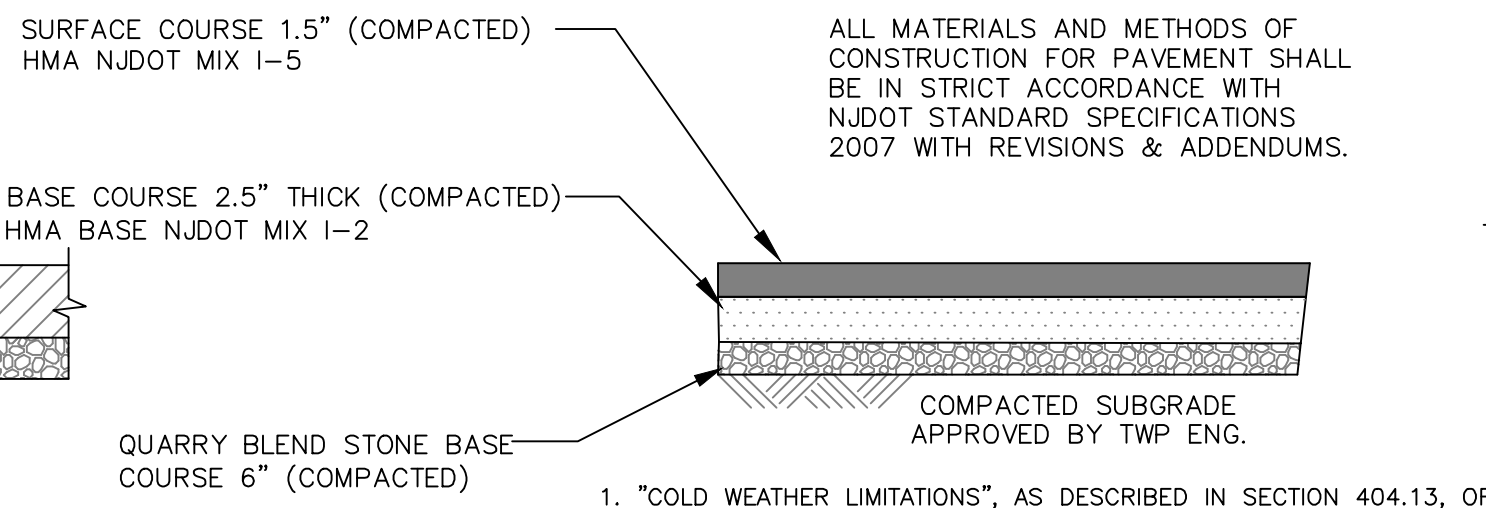
RAIN BARREL
(55 GALLON CAPACITY)
N.T.S.



NOTES:

- BASE THICKNESS VARIES WITH TRAFFIC, CLIMATE, SOIL SUBGRADE AND AS DIRECTED BY THE ENGINEER.
- CONCRETE BASE MINIMUM 2% SLOPE FROM CENTERLINE TO CURB.

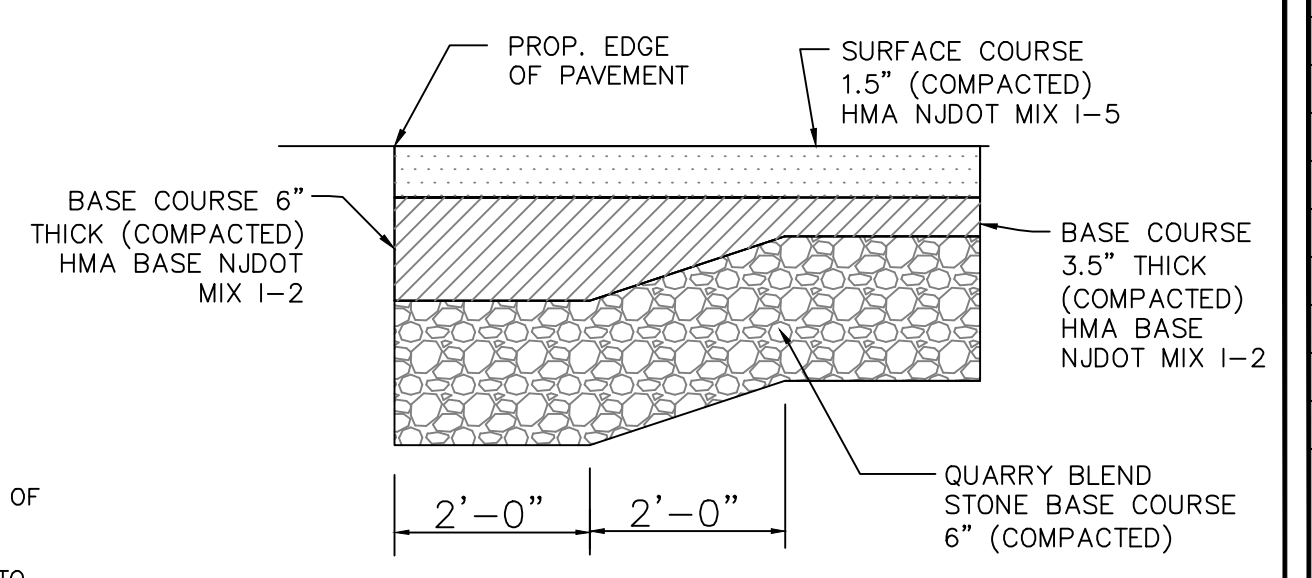
BRICK PAVERS ON CONCRETE BASE
NOT TO SCALE



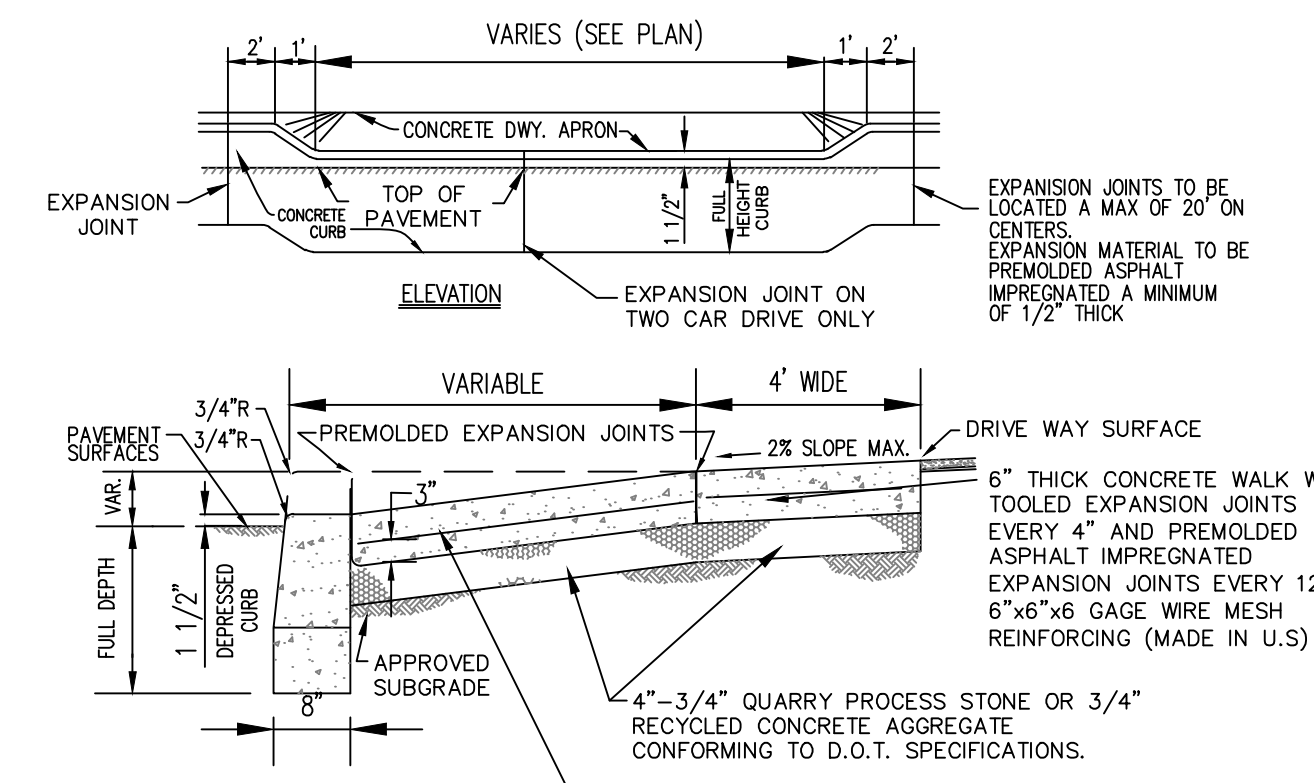
1. "COLD WEATHER LIMITATIONS", AS DESCRIBED IN SECTION 404.13, OF THE 2007 NJDOT STD. SPECIFICATIONS, MUST BE ADHERED TO.

2. A TACK COAT (EMULSIFIED ASPHALT RS-1) SHOULD BE APPLIED TO HMA BASE COURSE AT 0.08 GAL/SY PRIOR TO OVERLAY.

MUNICIPAL PAVEMENT SECTION
N.T.S.

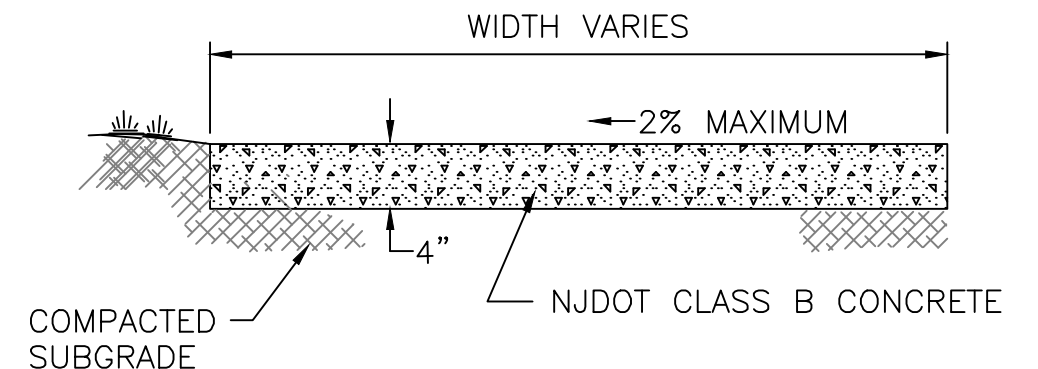


EDGE OF PAVING (ON-SITE)
N.T.S.



NOTE: ALL CONCRETE TO BE 4500 P.S.I. MIN.

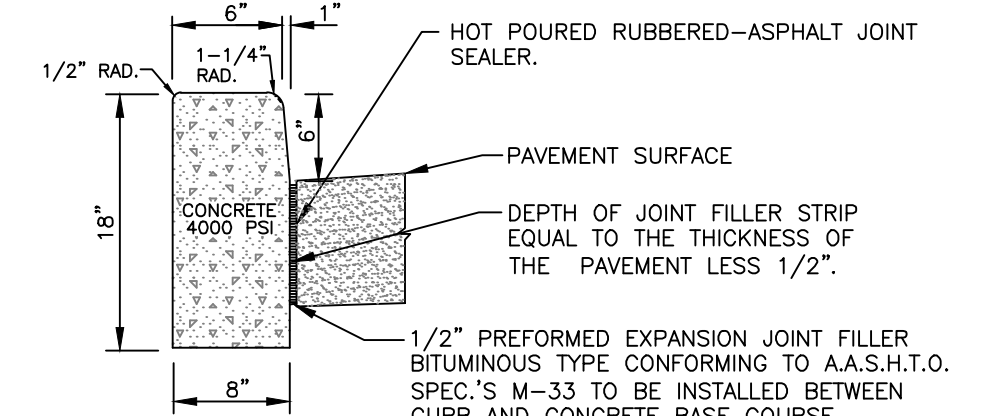
DEPRESSED CURB, DRIVEWAY ENTRANCE, APRON & SIDEWALK DETAIL
N.T.S.



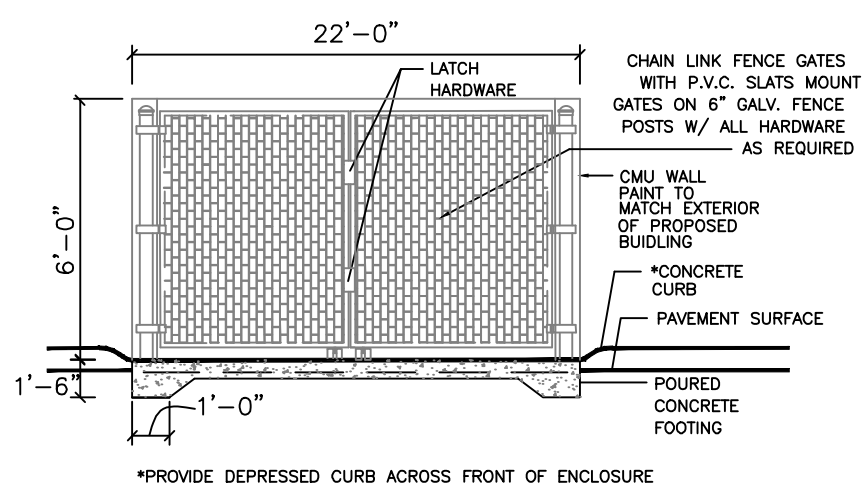
ALL MATERIALS AND METHODS OF CONSTRUCTION FOR SIDEWALK SHALL BE IN STRICT ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS, LATEST EDITION WITH REVISIONS & ADDENDUMS.

CONCRETE SIDEWALK
N.T.S.

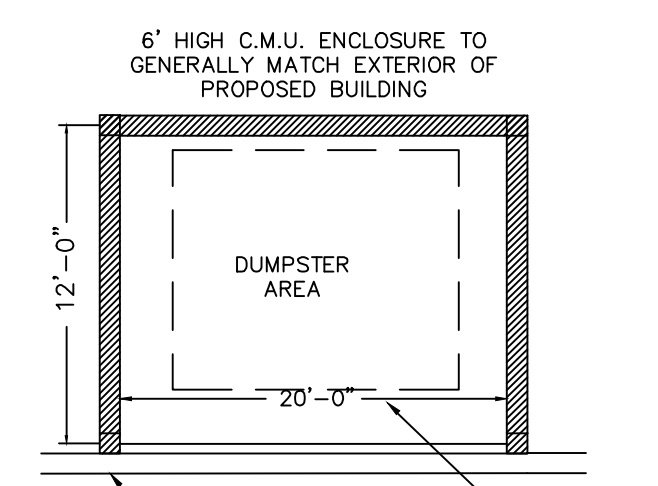
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF A.A.S.H.T.O. SPEC. M-213. RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. PROVIDE DUMMY (FORMED) JOINTS MIDWAY BETWEEN EXPANSION JOINTS. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.



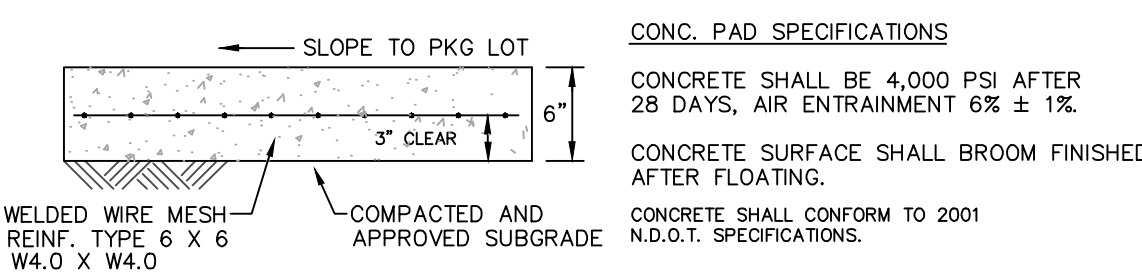
CONCRETE VERTICAL CURB
N.T.S.



TRASH ENCLOSURE GATE DETAIL
N.T.S.



DUMPSTER PAD ENCLOSURE DETAIL
N.T.S.



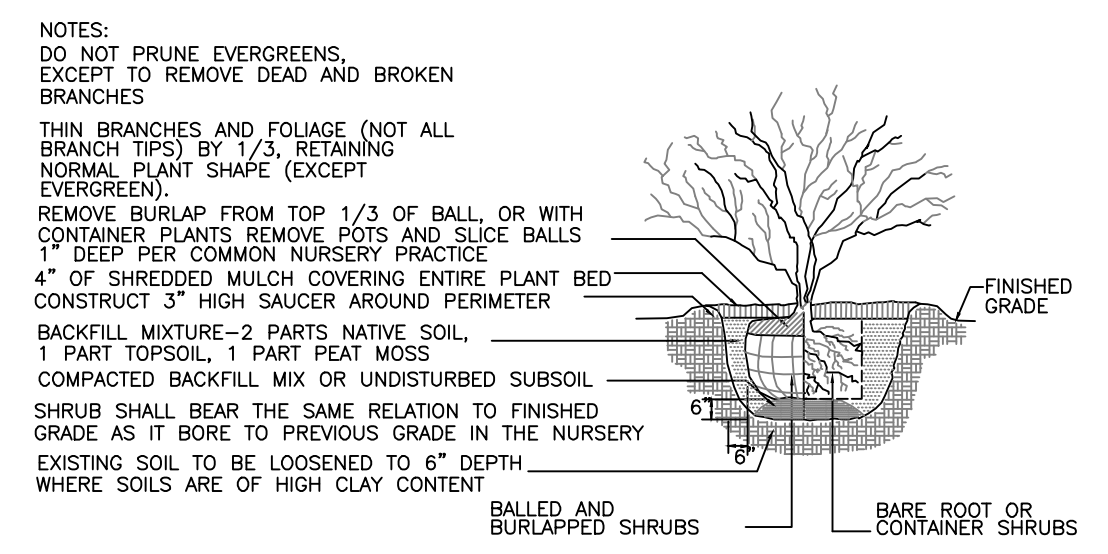
CONCRETE PAD PAVEMENT SECTION
N.T.S.

CONC. PAD SPECIFICATIONS

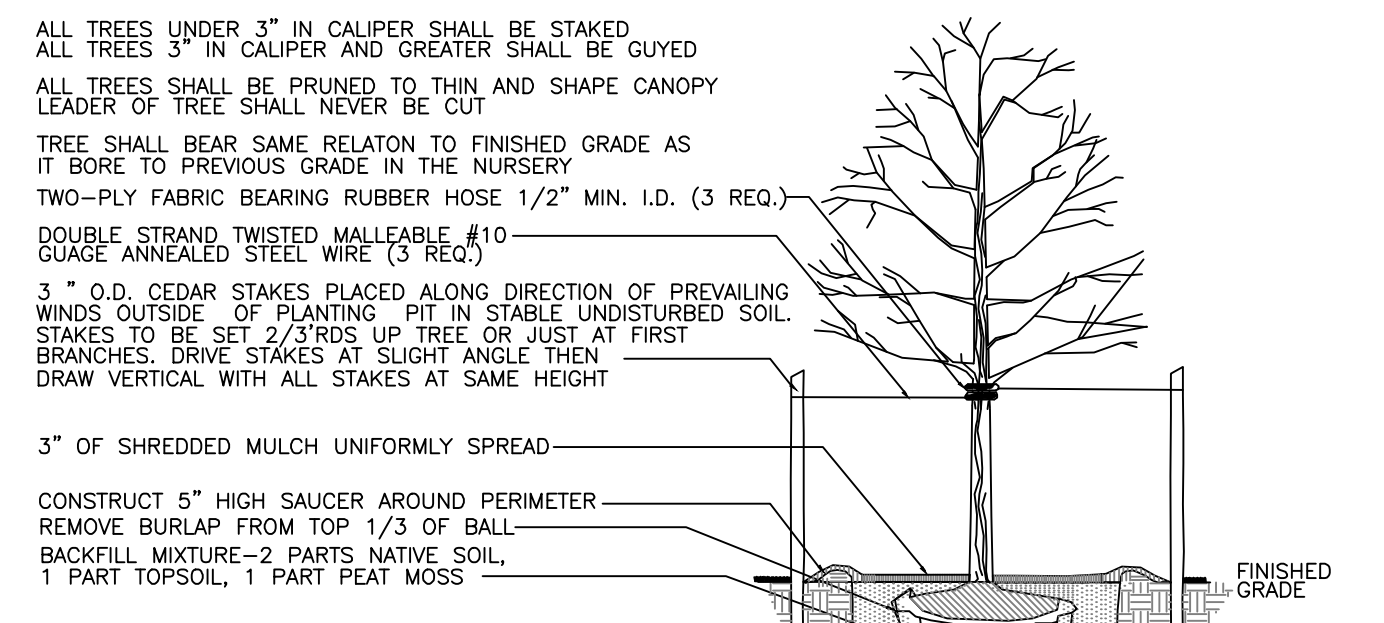
CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS, AIR ENTRAINMENT 6% ± 1%.

CONCRETE SURFACE SHALL BROOM FINISHED AFTER FLOATING.

CONCRETE SHALL CONFORM TO 2001 N.D.O.T. SPECIFICATIONS.



SHRUB PLANTING DETAIL
N.T.S.



DECIDUOUS TREE PLANTING DETAIL
N.T.S.

NOTES:

DO NOT PRUNE EVERGREENS, EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.

THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).

REMOVE BURLAP FROM TOP 1/3 OF BALL OR WITH CONTAINER PLANTS REMOVE POTS AND SLICE BALLS 1" DEEP PER COMMON NURSERY PRACTICE.

4" OF SHREDDED MULCH COVERING ENTIRE PLANT BED.

CONSTRUCT 3" HIGH SAUCER AROUND PERIMETER.

BACKFILL MIXTURE-2 PARTS NATIVE SOIL, 1 PART TOPSOIL, 1 PART PEAT MOSS.

SHRUB SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.

EXISTING SOIL TO BE LOOSENED TO 6" DEPTH, WHERE SOILS ARE OF HIGH CLAY CONTENT.

BALLED AND BURLAPPED SHRUBS.

BARE ROOT OR CONTAINER SHRUBS.

ALL TREES UNDER 3" IN CALIPER SHALL BE STAKED.

ALL TREES 3" IN CALIPER AND GREATER SHALL BE GUYED.

ALL TREES SHALL BE PRUNED TO THIN AND SHAPE CANOPY LEADER. TREE SHALL NEVER BE CUT.

TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.

TWO-PLY FABRIC BEARING RUBBER HOSE 1/2" MIN. I.D. (3 REQ.).

DOUBLE STRAND TWISTED MALLEABLE #10 GALVANNEAL STEEL WIRE (3 REQ.).

3" O.D. CEDAR STAKES PLACED ALONG DIRECTION OF PREVAILING WINDS OUTSIDE OF PLANTING PIT IN STABLE UNDISTURBED SOIL. STAKES TO BE SET 2 FEET UP TREE OR JUST AT FIRST BRANCHES. DRIVE STAKES AT SLIGHT ANGLE THEN DRAW VERTICAL WITH ALL STAKES AT SAME HEIGHT.

3" OF SHREDDED MULCH UNIFORMLY SPREAD.

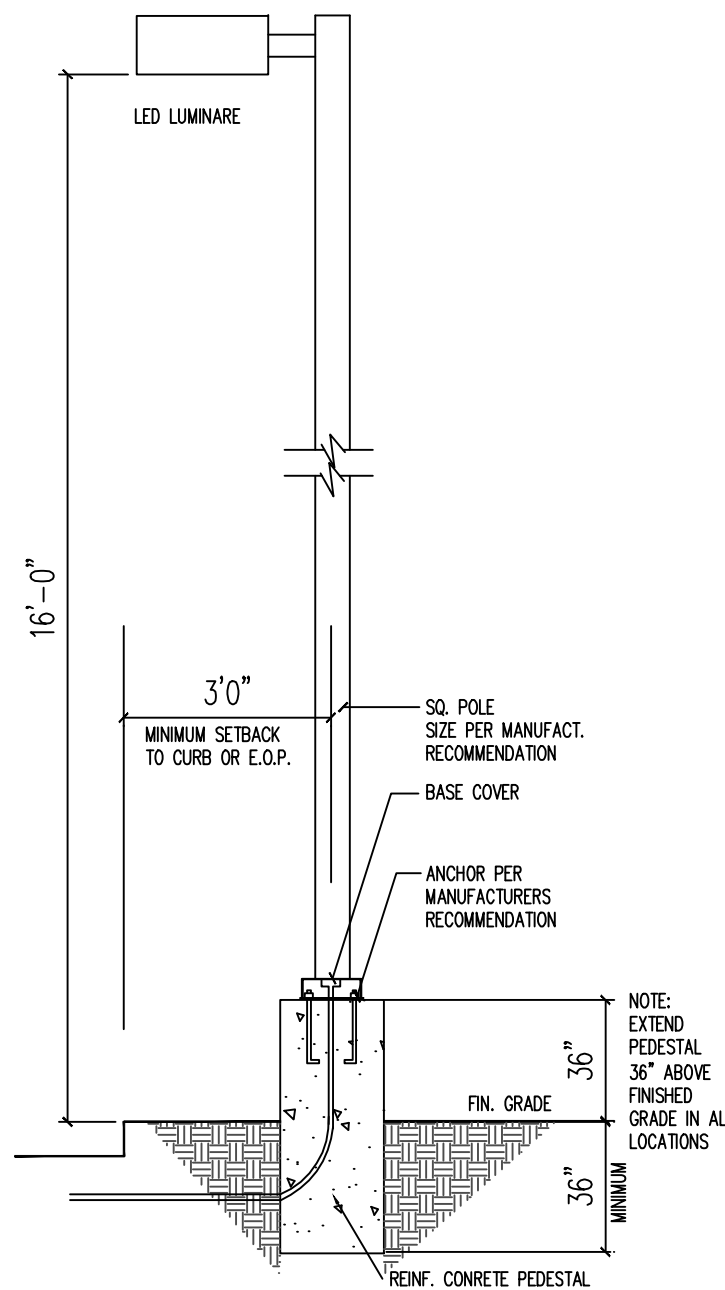
CONSTRUCT 5" HIGH SAUCER AROUND PERIMETER.

REMOVE BURLAP FROM TOP 1/3 OF BALL.

BACKFILL MIXTURE-2 PARTS NATIVE SOIL, 1 PART TOPSOIL, 1 PART PEAT MOSS.

STAKES TO EXTEND 18" BELOW TREE PIT INTO UNDISTURBED SOIL. EXISTING SOIL TO BE LOOSENED TO 6" DEPTH WHERE SOILS ARE OF HIGH CLAY CONTENT.

COMPACTED BACKFILL MIX OR UNDISTURBED SUBSOIL.



POLE MOUNTED LIGHT STANDARD
N.T.S.

Profiler II (small) (PA4) Specification Sheet

Product Code	RAM	Profiler II (small)
001	0000000000	0000000000
002	0000000000	0000000000
003	0000000000	0000000000
004	0000000000	0000000000
005	0000000000	0000000000
006	0000000000	0000000000
007	0000000000	0000000000
008	0000000000	0000000000
009	0000000000	0000000000
010	0000000000	0000000000
011	0000000000	0000000000
012	0000000000	0000000000
013	0000000000	0000000000
014	0000000000	0000000000
015	0000000000	0000000000
016	0000000000	0000000000
017	0000000000	0000000000
018	0000000000	0000000000
019	0000000000	0000000000
020	0000000000	0000000000
021	0000000000	0000000000
022	0000000000	0000000000
023	0000000000	0000000000
024	0000000000	0000000000
025	0000000000	0000000000
026	0000000000	0000000000
027	0000000000	0000000000
028	0000000000	0000000000
029	0000000000	0000000000
030	0000000000	0000000000
031	0000000000	0000000000
032	0000000000	0000000000
033	0000000000	0000000000
034	0000000000	0000000000
035	0000000000	0000000000
036	0000000000	0000000000
037	0000000000	0000000000
038	0000000000	0000000000
039	0000000000	0000000000
040	0000000000	0000000000
041	0000000000	0000000000
042	0000000000	0000000000
043	0000000000	0000000000
044	0000000000	0000000000
045	0000000000	0000000000
046	0000000000	0000000000
047	0000000000	0000000000
048	0000000000	0000000000
049	0000000000	0000000000
050	0000000000	0000000000

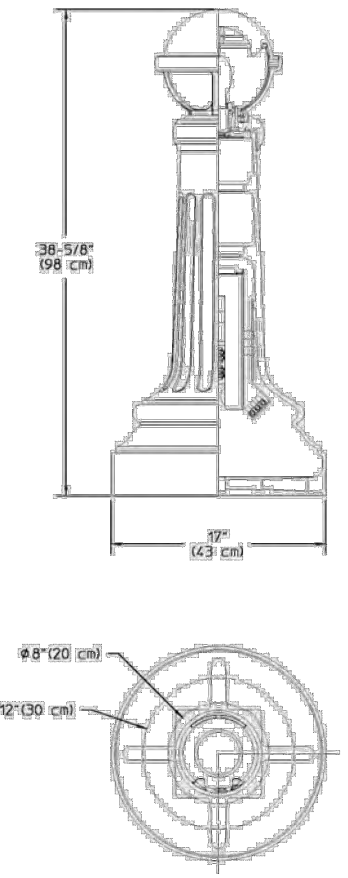
Specifications

HOUSING: Housing is die cast, low copper, 300 aluminum alloy. Fixture and arm are one-piece construction. An external lens within lens allows for tool-less entry for replacement. The visible lens profile and contoured shape of the fixture reduce the glare. Installation is easily accomplished using a heavy gauge mounting bracket. Lensless fixture lens frame is die cast, low copper, aluminum alloy. The lens is 1/8" thick clear, tempered optical lens. The lens frame is made in the housing using a one-piece structure and color-matched anodized paint. The lens frame fits into the door frame using a compressed die-cast and anodized gasket.

FINISH:

ISO 9001:2008 Registered

PHILIPS
HERNCO



100 W METAL HALIDE LIGHT BOLLARD

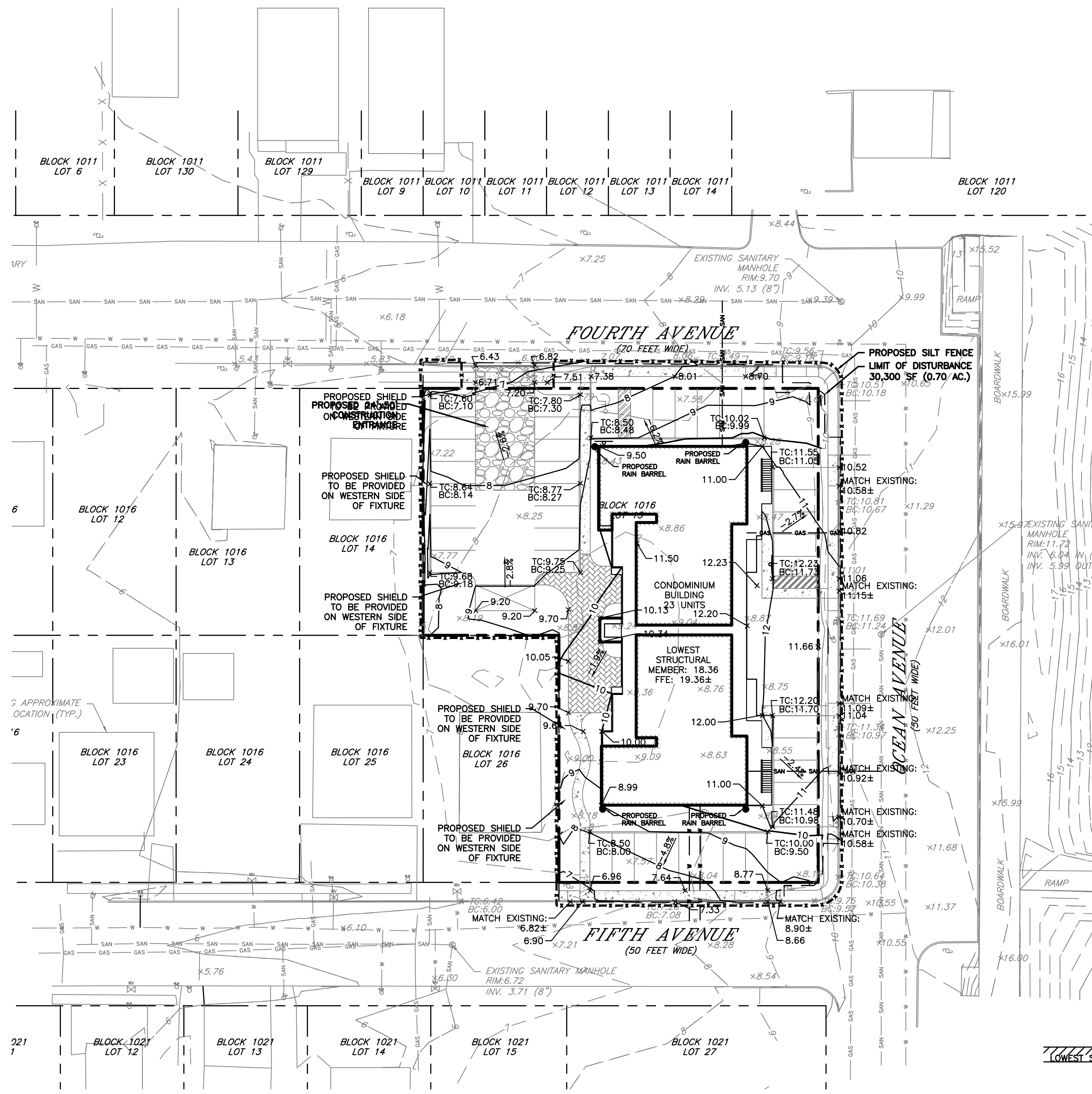
TRADITIONAL BOLLARD (BL31)

- 100 WATT
- 3.2 FT HIGH

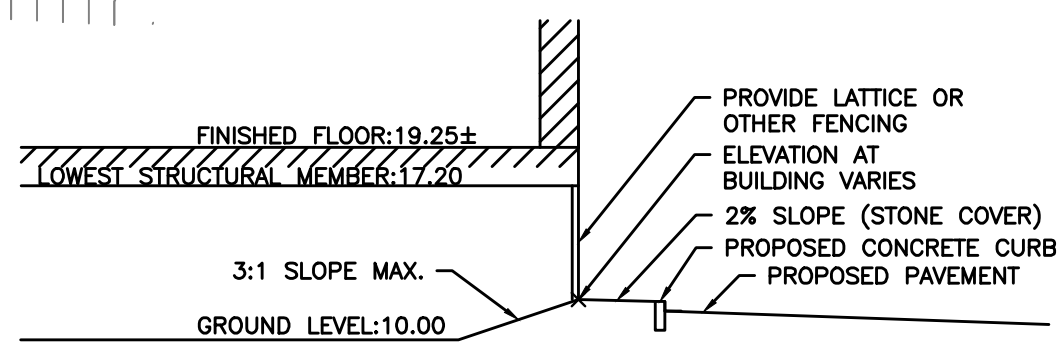
NOTICE:

THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING.

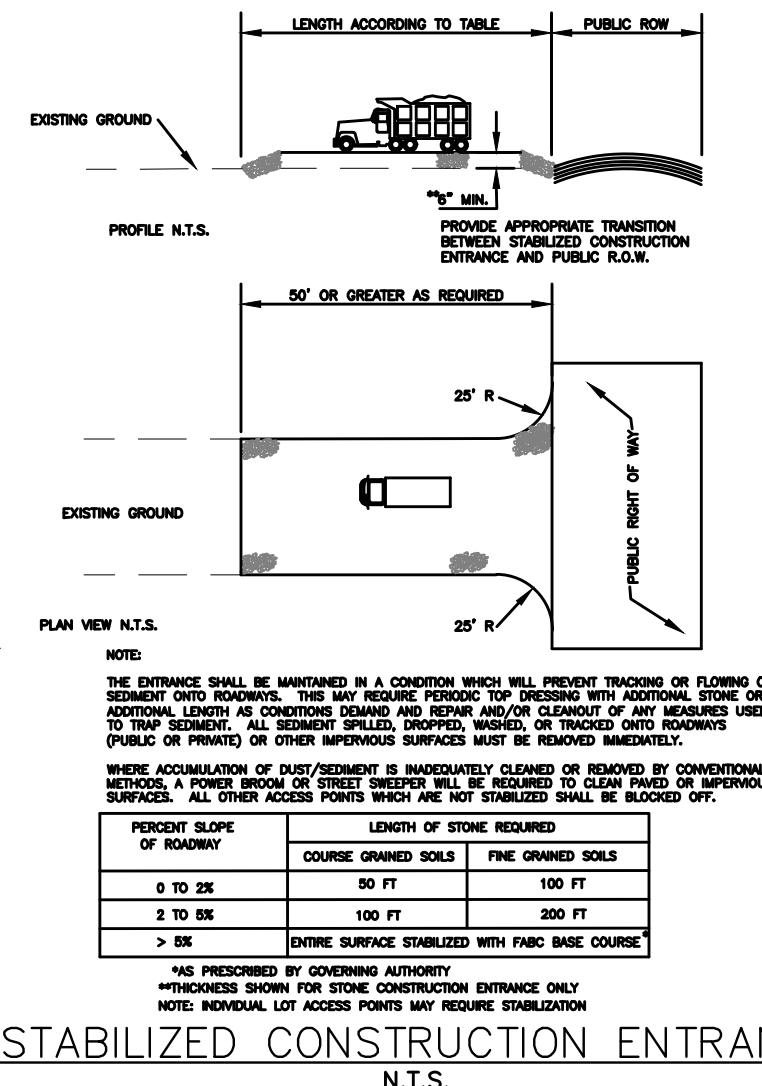
JOHN W. KORNICK, P.E.
Professional Engineer New Jersey Lic. No. 49285



GRADING PLAN AND SOIL EROSION AND SEDIMENT CONTROL PLAN



CROSS SECTION OF OCEAN AVENUE BUILDING-PARKING TRANSITION N.T.S.



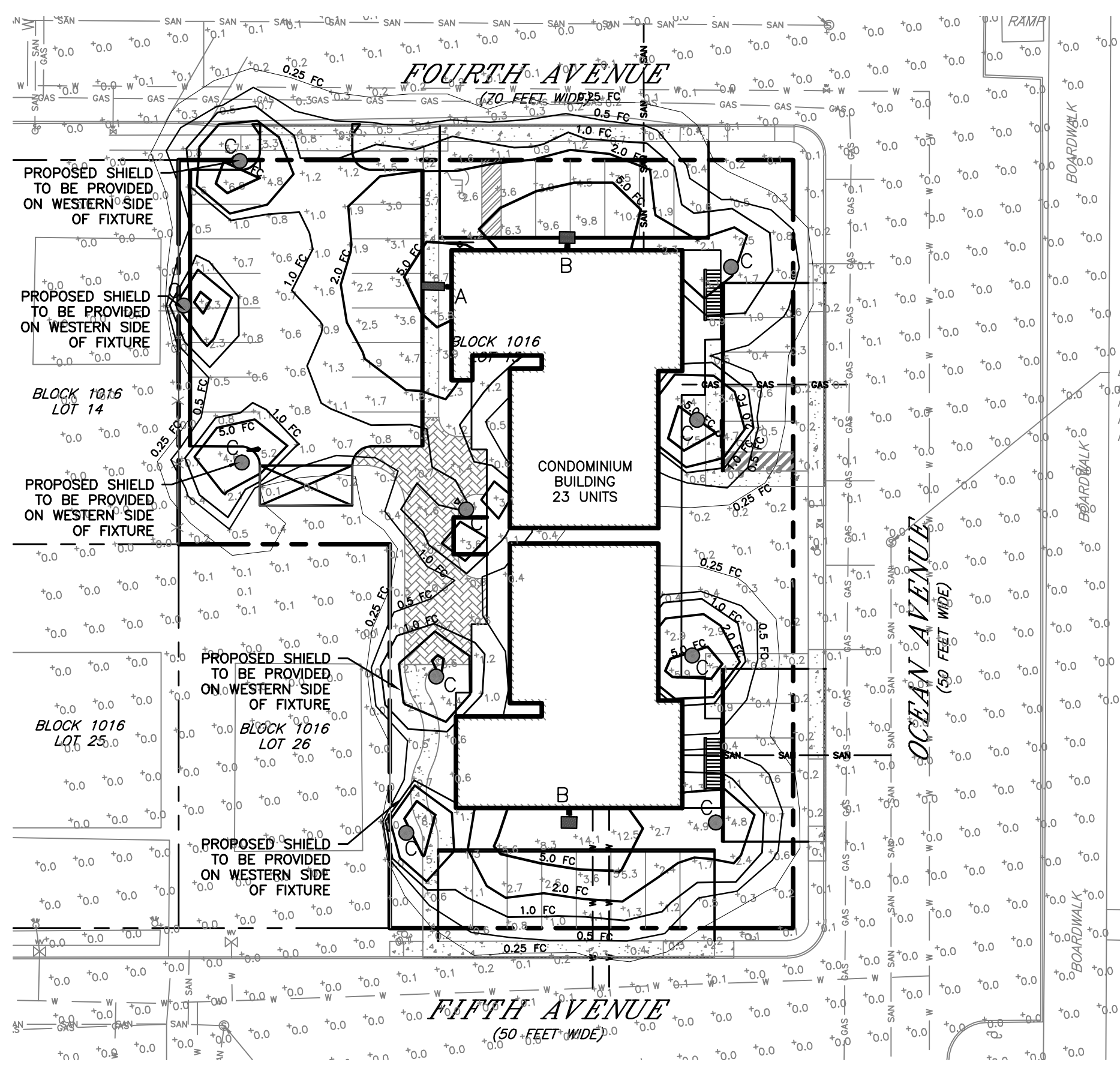
STABILIZED CONSTRUCTION ENTRANCE N.T.S.

Calculation Summary							
Overall	Avg	Max	Min	Avg/Min	Max/Min	PtSpLr	PtSpTb
OVERALL SUMMARY	0.7	24.3	0.0	N/A	N/A	10	10

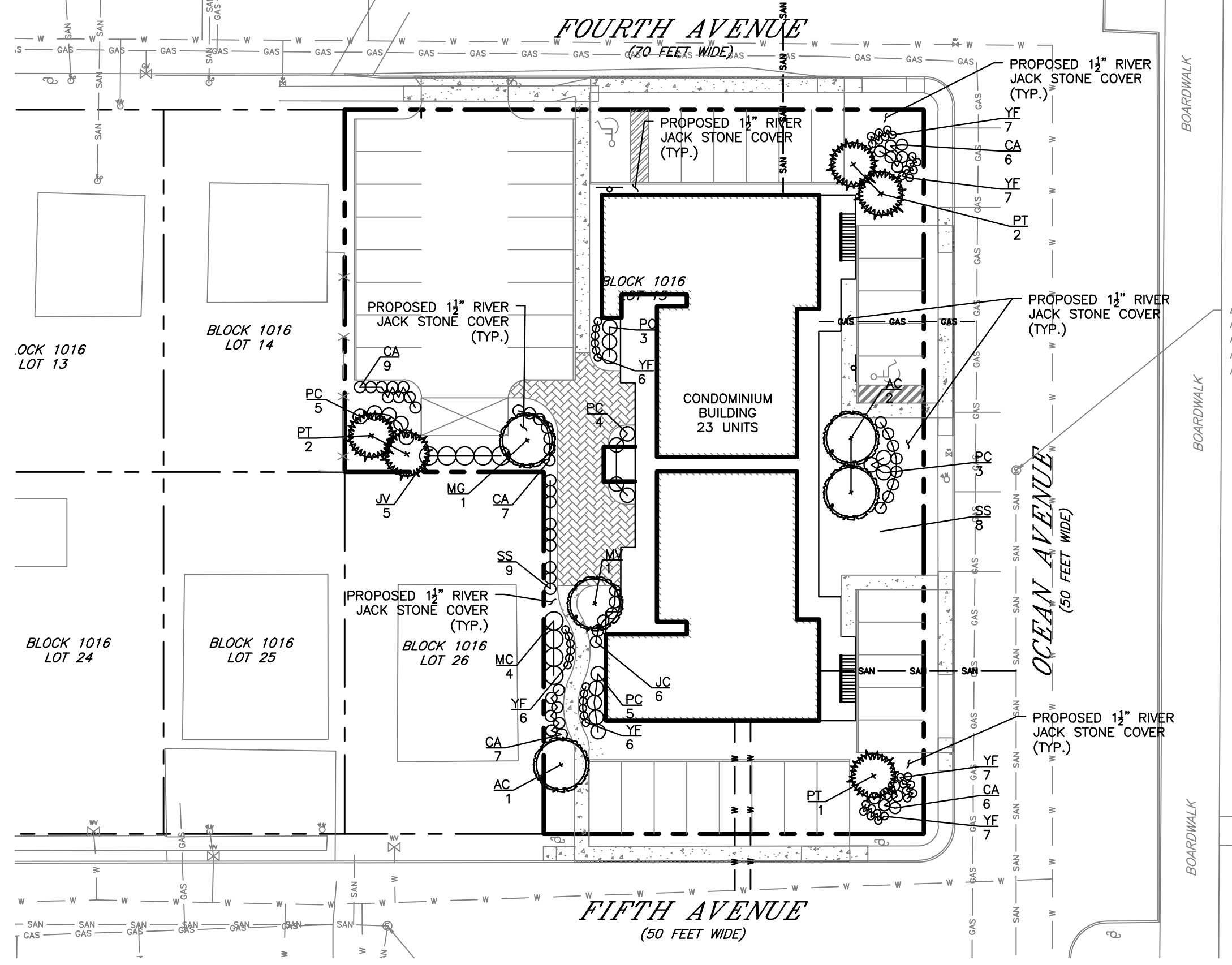
Luminaire Schedule							
SEAVIEW CONDOMINIUMS							
Symbol	Qty	Label	Lumens	LLF	Watts	Description	
⬅	1	A	11,700	1.00	193	PA4 PROFILER; GE P-10; 175 MH; M57; ED17; MED POLE-MOUNTED 16' HEIGHT	
➡	2	B	11,700	1.00	193	PA4 PROFILER; GE P-10; 175 MH; M57; ED17; MED WALL-MOUNTED 10' HEIGHT	
●	10	C	9,000	1.00	100	BL20/BL30/BL31 GE, 100MH, M90, BD17, MED - TRADITIONAL BOLLARD	

LANDSCAPING & LIGHTING NOTES:

- ALL EXPOSED AREAS OCCUPIED WITH IMPROVEMENTS OR MULCH SHALL BE SEEDED AND MULCHED USING THE PERMANENT SEEDING SCHEDULE.
- ALL LIGHT POSTS SHALL BE PLACED AT LEAST 3 FEET BEHIND THE CURBS OR EDGE OF PAVEMENT.
- FOR ADDITIONAL LANDSCAPING NOTES REFER TO THE LANDSCAPE NOTES AND CONSTRUCTION NOTES ON SHEET 2 OF 6.
- FOR LIGHTING DETAILS SEE SHEET 6 OF 6.
- ALL GROUND MOUNTED MEP AND UTILITY METERS SHALL BE SCREENED.
- ALL LEANING, DISEASED AND/OR DEAD TREES SHALL BE REMOVED AND REPLACED.
- SEE PROJECT INFORMATION SHEET FOR LANDSCAPING NOTES.
- SEE THE CONSTRUCTION DETAILS PLAN FOR LANDSCAPE DETAILS.
- ALL SITE LIGHTING MAY BE ADJUSTED AS DIRECTED BY THE TOWNSHIP ENGINEER SHOULD UNANTICIPATED OFFSITE GLARE IMPACTS RESULT FROM THE DEVELOPMENT PROPOSED.



LIGHTING PLAN



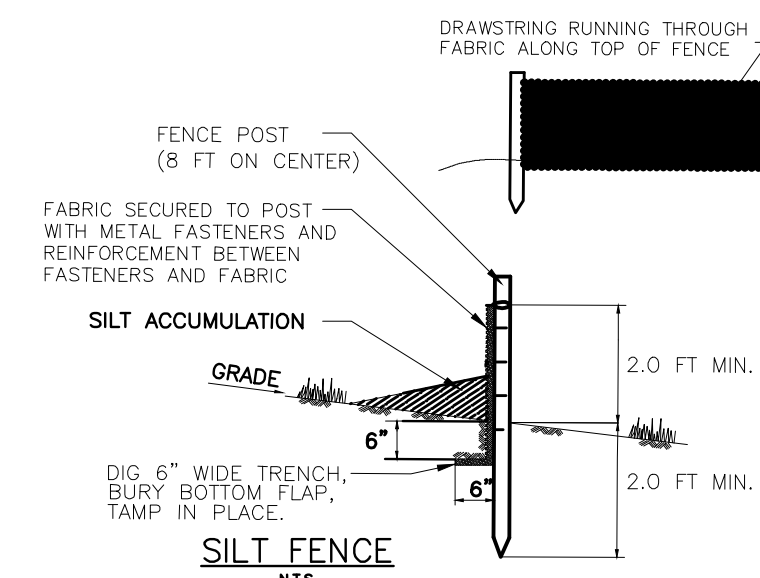
LANDSCAPING PLAN

PLANTING SCHEDULE:

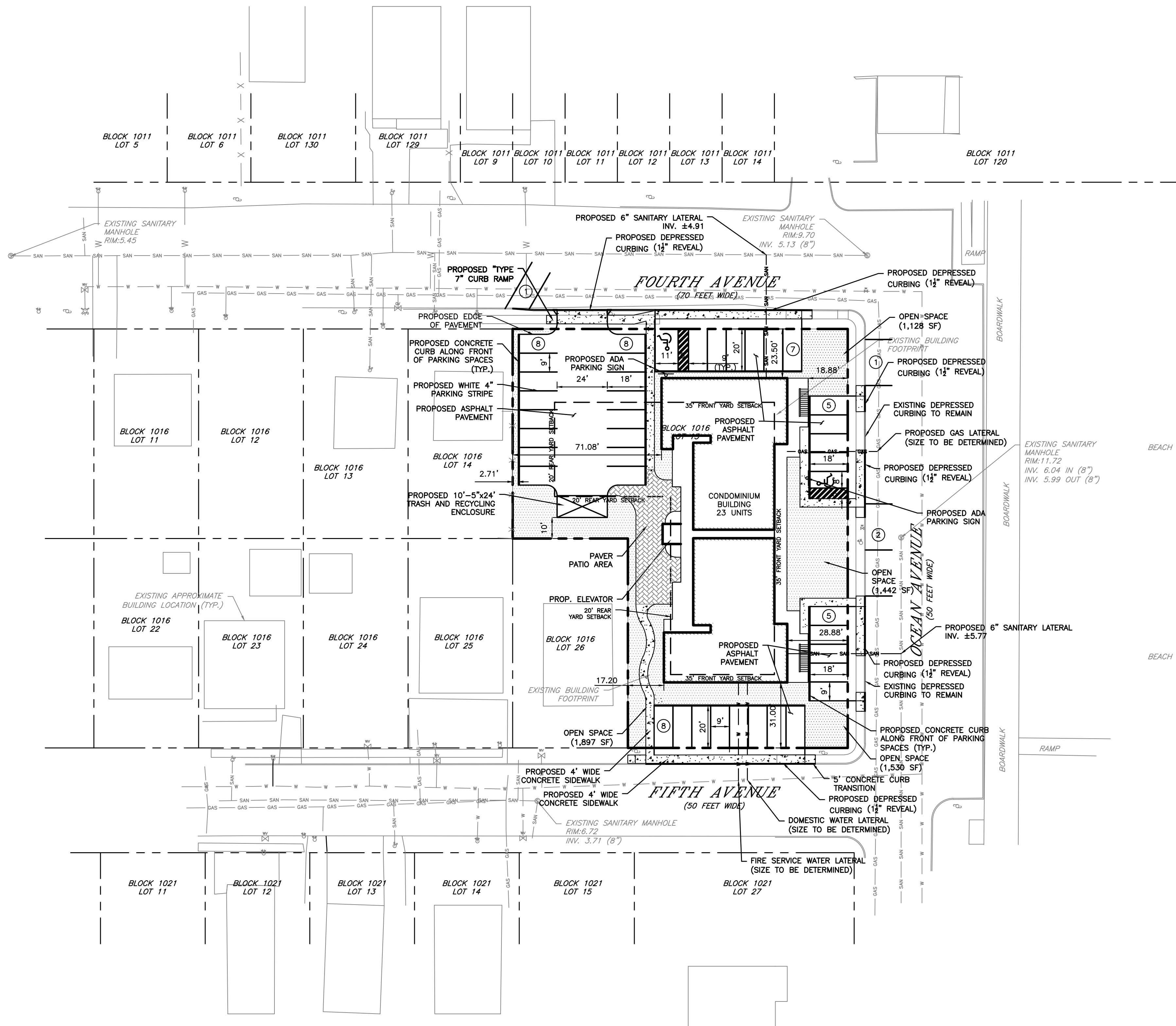
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	TYPE
AC	Amelanchier canadensis	Serviceberry	3	2-1/2" Cal.	Deciduous Tree, B & B
MT	Magnolia virginiana	Sweetbay Magnolia	1	2-1/2" Cal.	Deciduous Tree, B & B
PV	Pinus thunbergii	Japanese Black Pine	5	5-6'	Evergreen Tree, B & B
MG	Magnolia grandiflora	Southern Magnolia	1	5-6'	Evergreen Tree, B & B
MC	Morella cerifera	Wax Myrtle	4	1 GAL.	Evergreen Shrub, Cont.
YF	Yucca filamentosa	Adams Needle Yucca	46	1 GAL.	Evergreen Shrub, Cont.
PC	Prunus caroliniana	Cherry Laurel	20	1 GAL.	Evergreen Shrub, Cont.
JV	Juniperus chinensis	Sea Green Juniper	6	1 GAL.	Evergreen Shrub, Cont.
JV	Juniperus virginiana	Eastern Red Cedar	5	3-4'	Evergreen Shrub, B & B
CA	Calamagrostis acutiflora	Feather reed grass	35	1 GAL.	Ornamental Grass, Cont.
SS	Schizachyrium scoparium	Little Blue Stem	17	1 GAL.	Ornamental Grass, Cont.

- GRADING PLAN AND FLOOD HAZARD AREA NOTES:
- VERTICAL DATUM REFERENCES NAVD 1988 DATUM.
 - CURRENT FEMA FIRM MAP PANEL NO. 34029C0329F, EFFECTIVE SEPTEMBER 29, 2006 MAPS THE SUBJECT PROPERTY WITHIN THE ZONE X AND ZONE VE (ELEV. 12.0). FEMA PRELIMINARY WORK MAP MAPS THE SUBJECT PROPERTY IN FLOOD ZONE AO AS THE REGULATORY FLOOD. THE HIGHEST EXISTING GRADE ON PROPERTY IS 9.36. WHERE THE PRELIMINARY WORK MAP FOR ZONE AO REQUIRES THE BASE FLOOD ELEVATION TO BE + ONE FOOT HIGHER THAN THE HIGHEST EXISTING GRADE.
 - NO BASEMENT IS PROPOSED AS PART OF THIS PROJECT.
 - A FOYER WITH A FLOOR THAT IS NOT ONE FOOT ABOVE THE FLOOD HAZARD AREA IS NOT PERMITTED.
 - GARAGES ARE NOT PERMITTED IN PER THE NJDEP FLOOD HAZARD AREA CONTROL ACT RULE, SECTION NJAC 7:13-11.5(O)(2).
 - ALL SPACE BELOW THE FIRST FLOOR WILL BE USED SOLELY FOR BUILDING ACCESS AND/OR STORAGE AND ALL ENCLOSED AREAS SHALL BE IN CONFORMANCE WITH THE STANDARDS SET FORTH AT NJAC 7:13-11.5(n)2 & 3, AS APPLICABLE.
 - SMART VENTS SHALL BE USED FOR ALL ENCLOSED AREAS BELOW BASE FLOOD ELEVATION. THE VENTS SHALL BE INSTALLED NO MORE THAN 12" FROM FINAL GRADE. EACH VENT HAS A CAPACITY OF 200 SQUARE FEET, THEREFORE, THE NUMBER OF REQUIRED VENTS SHALL BE UTILIZED PER THE SPECIFICATION AND DETAIL.
 - SEE THE CONSTRUCTION DETAILS PLAN FOR LANDSCAPE DETAILS.
 - CONNECT A MINIMUM OF FOUR (4) RAIN BARRELS TO BUILDING DOWNSPOUTS. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

FOR SOIL EROSION AND SEDIMENT CONTROL NOTES SEE SHEET 2 OF 6.



SILT FENCE N.T.S.



ZONING SCHEDULE
ZONING DISTRICT: MF-16 MULTI-FAMILY ZONE
USE VARIANCE IS BEING APPLIED FOR DEVIATION OF MAXIMUM UNIT DENSITY

CATEGORY	REQUIRED	EXISTING	PROPOSED	NOTES
MAX. UNIT DENSITY	16 UNITS/AC.	N/A	37.8 UNITS/AC	(V)
MIN. LOT AREA	10,000 SF	26,500 SF	26,500 SF	(C)
MIN. LOT WIDTH	100 FT	105, 160, 200 FT	105, 160, 200 FT	(C)
MIN. LOT DEPTH	100 FT	105, 160, 200 FT	105, 160, 200 FT	(C)
FRONT SETBACK	35 FT	N/A	31, 28.88, 23.5 FT	(V)
REAR SETBACK	20 FT	N/A	17, 71	(V)
SIDE SETBACK	20 FT	N/A	-	(V)
PARKING SIDE/REAR SETBACK	5 FT	N/A	3.2 FT	(V)
MIN. UNOCCUPIED OPEN SPACE	15%	N/A	22.6%	(C)
MAX. BUILDING HEIGHT	35 FT	N/A	< 35 FT	(C)

(E) EXISTING NON-CONFORMING
(V) VARIANCE REQUIRED (VARIANCE APPROVED)
(C) CONFORMS

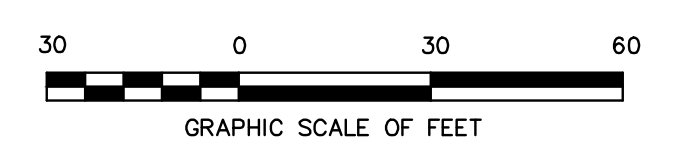
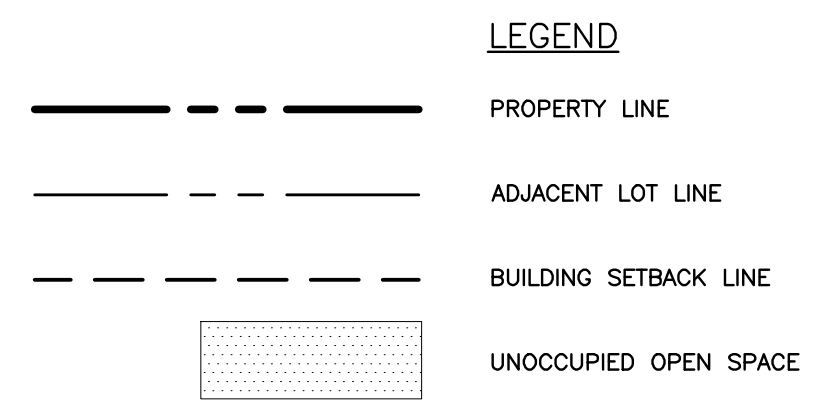
PARKING SCHEDULE
PER SECTION 348-8.20.0(15) & SECTION 348-10.18.P.

SECTION 348-8.20.0(15)
RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS):
1.8 SPACES PER 1 BEDROOM APARTMENT
2.0 SPACES PER 2 BEDROOM APARTMENT
22 UNITS (1-BR) & 1 UNIT (2-BR) = 41.6 SPACES = 42 SPACES

SECTION 348-10.18.P
IN ADDITION TO REQUIREMENTS OF 348-8.20:
TWO (2) PARKING SPACES PER EACH FIRST BEDROOM, PLUS AN ADDITIONAL 1/2 PARKING SPACE FOR EACH ADDITIONAL BEDROOM
22 UNITS (1-BR) & 1 UNIT (2-BR) = 22.5 SPACES = 23 SPACES

TOTAL REQUIRED: 42 + 23 = 65 SPACES
TOTAL PROVIDED: 36 SPACES (VARIANCE REQUIRED)

- GENERAL NOTES:**
- OWNER/APPLICANT: SEAVIEW CONDOMINIUM ASSOCIATION, INC. c/o TMK PROPERTY MANAGEMENT & CONSULTING, INC. 169 WASHINGTON ROAD PRINCETON, NJ 08540
 - TRACT IS KNOWN AS BLOCK 1016 LOT 15 AS SHOWN ON PLATE 108.02 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF TOMS RIVER.
 - TOTAL TRACT IS 0.608± ACRE.
 - THE SUBJECT TRACT IS ZONED IN MF-16 MULTI FAMILY ZONE AS INDICATED ON THE ZONE MAP DATED FEBRUARY 12, 2008.
 - PRESENT USE: VACANT LOT (PREVIOUSLY CONDOMINIUM)
 - PROPOSED USE: CONDOMINIUM - 23 UNITS
 - TOPOGRAPHIC & EXISTING CONDITION INFORMATION HAS BEEN BASED UPON A FIELD SURVEY PERFORMED BY JEFFREY R. GELLENTHIN, P.L.S. OF K2 CONSULTING ENGINEERS, INC., ON JANUARY 28, 2014.
 - LOT LINES AND ADJOINING LOT LINES SHOWN HEREON ARE TAKEN FROM THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF TOMS RIVER.
 - THIS PLAN PROPOSES THE RECONSTRUCTION OF THE PREVIOUSLY OCCUPIED SEAVIEW CONDOMINIUM BUILDING.
 - NO PHASING IS PROPOSED FOR THIS DEVELOPMENT.
 - TO THE BEST OF OUR KNOWLEDGE, THIS PROPERTY IS NOT SUBJECT TO ANY KNOWN EXISTING EASEMENTS, DEED RESTRICTIONS, AND/OR PROTECTIVE COVENANTS. SHOULD ADDITIONAL RESEARCH REVEAL ANY OF THE ABOVE, THE PLANS SHALL BE MODIFIED ACCORDINGLY.
 - THE PROPERTY IS LOCATED WITHIN THE 100 YEAR FLOODPLAIN, ABFE: A01 (ELEV. 1.0, NAVD83) AS TAKEN FROM THE FEMA, REGION II COSTAL ANALYSIS AND MAPPING WEBSITE (WWW.REGION2COASTAL.COM)
 - PROPERTY DOES NOT CONTAIN, NOR IS IT ADJACENT TO, FRESHWATER WETLANDS AS PER THE NJDEP GEOWEB DATABASE FOR OCEAN COUNTY.
 - THE PROJECT IS LOCATED WITHIN STATE PLANNING AREA ENVIRONMENTALLY SENSITIVE BARRIER ISLAND.
 - THE PROJECT IS LOCATED WITHIN THE ATLANTIC COAST (MANASQUA TO BARNEGAT) WATERSHED, ATLANTIC COAST (HERRING ISLAND TO ROUTE 37) SUB-WATERSHED (HUC14 #02040301910020).
 - RELOCATED GAS MAINS, TELEPHONE LINES, CABLE TELEVISION LINES AND ELECTRICITY LINES MUST BE INSTALLED UNDERGROUND. ACTUAL LOCATIONS OF THESE UTILITY SERVICES SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
 - THE PROPOSED APPLICATION WILL REQUIRE APPROVALS FROM THE FOLLOWING AGENCIES:
 - TOWNSHIP OF TOMS RIVER ZONING BOARD (APPROVED 9-18-14)
 - OCEAN COUNTY PLANNING BOARD (APPROVED 5-21-14)
 - OCEAN COUNTY SOIL CONSERVATION DISTRICT (APPROVED 5-12-14)
 - NJDEP LAND USE REGULATION PROGRAM (CAFRA) (APPROVED 1-29-15)
 - ALL UTILITY SERVICES TO BE SIZED AND VERIFIED WITH UTILITY AT TIME OF CONSTRUCTION DOCUMENTATION.



JOHN W. KORNICK, P.E.
Professional Engineer New Jersey Lic. No. 49285

REVISION:

RELOCATED BLDG. PER ZONING BOARD HEARING	8/1/14
REVISED PER NJDEP REVIEW	9/22/14
REVISED FOR RESOLUTION COMPLIANCE	1/20/15

SITE LAYOUT PLAN
SEAVIEW CONDOMINIUM ASSOCIATION RECONSTRUCTION
BLOCK 1016 - LOT 15 - TAX MAP PLATE 108.02
NEW JERSEY
OCEAN COUNTY
TOWNSHIP OF TOMS RIVER

TITLE: **K2** Consulting Engineers, Inc.

Professional Civil Engineers
Certificate of Authorization
#24GA28187400

918 Kings Highway
Haddon Heights, NJ 08035
Phone - 856.310.5205
Fax - 856.310.5207
www.K2CE.com

DATE: 2/20/2014
DESIGN BY: JK
DRAWN BY: SM
SCALE: 1"=30'
PLAN NO.: ---
JOB NO.: PD13-141
SHEET 4 OF 6