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# Township of Egg Harbor

## Municipal Public Access Plan

Submitted by: Township of Egg Harbor

Date of Current Submittal: July 12, 2017 - DRAFT

Approved by the New Jersey Department of Environmental Protection:

{Date of NJDEP Approval}

Adoption by the City

{Date of Municipal Adoption}

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Approval of this plan does not eliminate the need for any Federal, State, County or municipal permits, certifications, authorizations or other approvals that may be required by the Applicant, nor shall the approval of this plan obligate the Department to issue any permits, certifications, authorizations or other approvals required for any project described in this plan.

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## Introduction

The intent of this document is to provide a comprehensive public access plan for The Township of Egg Harbor (Egg Harbor Township) which lays out their vision for providing access to tidal waters and shorelines within the municipal boundary. This Municipal Public Access Plan (MPAP) was developed in accordance with N.J.A.C. 7:7E-8.11 and in collaboration with the New Jersey Department of Environmental Protection (NJDEP), and has been approved by the NJDEP. The development and implementation of this MPAP supports the policy of local determination of public access locations and facilities, while safeguarding regulatory flexibility and potential funding opportunities for Egg Harbor Township.

Public rights of access to and use of the tidal shorelines and waters, including the ocean, bays, and tidal rivers, in New Jersey are founded in the Public Trust Doctrine. First set by the Roman Emperor Justinian around A.D. 500 as part of Roman civil law, the Public Trust Doctrine establishes the public's right to full use of the seashore as declared in the following quotation from Book II of the Institutes of Justinian:

"By the law of nature these things are common to all mankind – the air, running water, the sea, and consequently the shores of the sea. No one, therefore, is forbidden to approach the seashore, provided that he respects habitations, monuments, and the buildings, which are not, like the sea, subject only to the law of nations."

Influenced by Roman civil law, the tenets of public trust were maintained through English common Law and adopted by the original 13 colonies. Following the American Revolution, the royal right to tidelands was vested to the 13 new states, then to each subsequent state, and has remained a part of public policy into the present time. Through various judicial decisions, the right of use upheld by the Public Trust Doctrine has been incorporated into many state constitutions and statutes, allowing the public the right to all lands, water and resources held in the public trust by the state, including those in New Jersey.

The NJDEP adopted new rules governing public access on November 5, 2012 that enable municipalities to develop and adopt MPAPs to govern public access within their municipality. This MPAP consists of an inventory of public access locations, plus plans to preserve and enhance access based on community needs and State standards.

This plan was then developed in collaboration with the NJDEP and the Egg Harbor Township Planning Board and was presented to the Planning Board on {date} and was approved for submission to the NJDEP on {date}. Upon receiving approval from the NJDEP on {date}, the MPAP was incorporated into the Open Space and Recreation Plan Element of the Master Plan by resolution on {date}. Incorporation into the Master Plan, and final approval of this MPAP by the NJDEP, was recognized by Public Notice in the NJDEP Bulletin. All public access decisions made within Egg Harbor Township will be consistent with this plan.

## **Authority for Municipal Public Access Plans**

The authority for a municipality to develop a MPAP is derived from the Coastal Zone Management Rules, N.J.A.C. 7:7E, adopted by NJDEP on November 5, 2012. The premise of the authorization of Municipal Public Access Plans is that public access to tidal waters is fundamentally linked to local conditions. Municipalities have a better awareness and are more responsive to these conditions than a broader State “one size fits all” mandated public access plan.

The voluntary development of a MPAP by Egg Harbor Township enables the municipality to better plan, implement, maintain, and improve the provision of public access for its residents and visitors. The MPAP will be incorporated into the Open Space and Recreation Plan Element of the municipality’s Master Plan, in accordance with the Municipal Land Use Law (N.J.S.A 40:55D). The MPAP, as an official component of the municipal Master Plan, informs and/or identifies public access requirements associated with any proposed development or redevelopment project.

Upon approval of the MPAP by the Department and incorporation into the Master Plan, Egg Harbor Township will be responsible for ensuring that public access to tidal waterways along the municipality’s shorelines is provided in accordance to this plan. For each new public access project, Egg Harbor Township will provide NJDEP with a letter confirming its consistency with this MPAP. Any permit issued by the NJDEP will reflect this and ensure that public access requirements are satisfied in accordance to this plan. Per N.J.A.C. 7:7E - 8.11(j)4, Egg Harbor Township is required to submit a progress report on plan implementation to NJDEP within five (5) years from date of plan adoption.

The sections of this plan as indicated below are prescribed by the Coastal Zone Management Rules, N.J.A.C. 7:7E, adopted by NJDEP on November 5, 2012. See Appendix 1.

## **State of New Jersey Public Access Goals**

Through the New Jersey Coastal Zone Management Rules (see N.J.A.C 7:7E-1.1 (c)), the State of New Jersey establishes a broad set of coastal protection goals, including the following specifically addressing public access...

- Effectively manage ocean and estuarine resources through sustainable recreational and commercial fisheries, as well as through the safe and environmentally sound use of coastal waters and beaches.
- Provide meaningful public access to and use of tidal waterways and their shores.
- Preserve public trust rights to tidal waterways and their shores.
- Preserve and enhance views of the coastal landscape to enrich aesthetic and cultural values and vital communities.
- The enhancement of public access by promoting adequate affordable public facilities and services.
- Create and enhance opportunities for public access to tidal waterways and their shores, on a non-discriminatory basis.
- Maintain all existing public access to, and along tidal waterways and their shores.

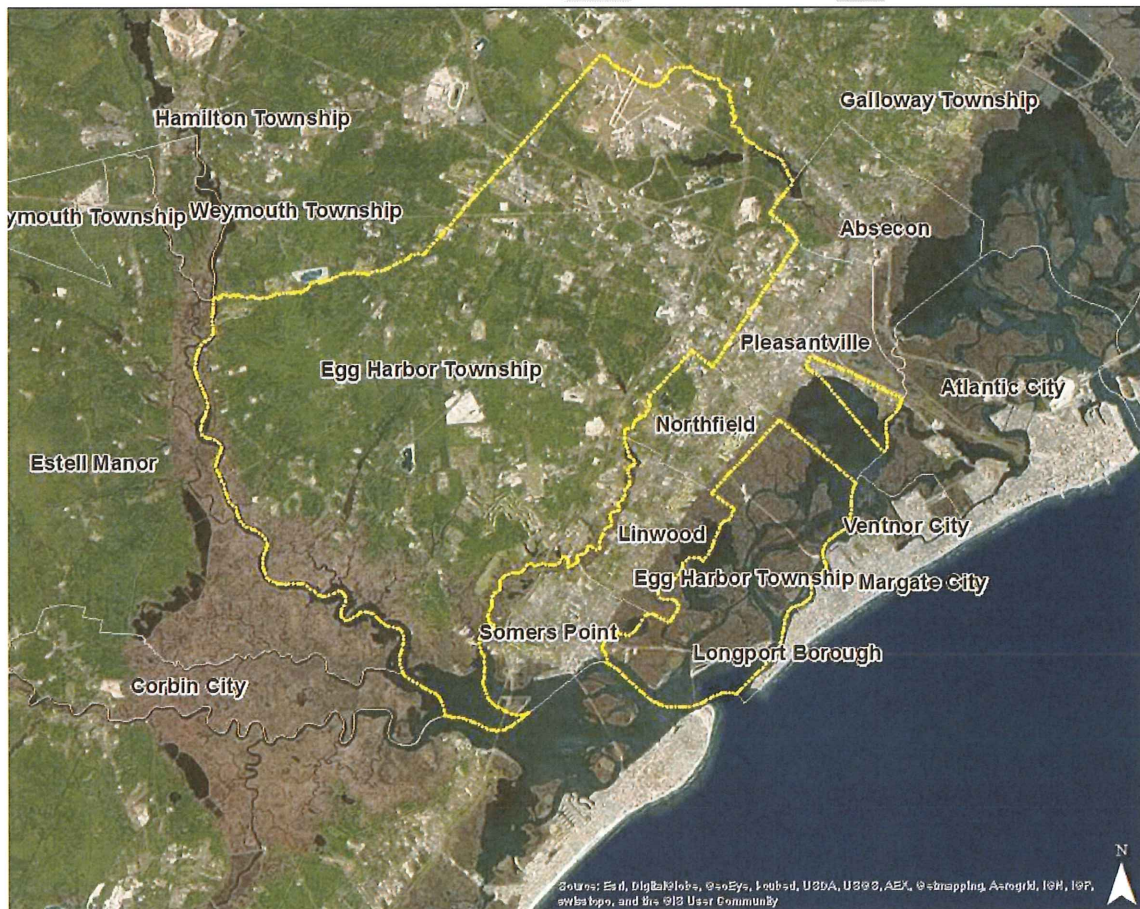


- Provide opportunities for public access to tidal waterways and their shores through new development.
- Provide public access that does not create conditions that may be reasonably expected to endanger public health and safety, damage the environment, or create significant homeland security vulnerability.

Egg Harbor Township's Municipal Public Access Plan embraces and reflects these goals and will help preserve, protect, and enhance the public's ability to access the Public Trust lands which surround the City.

## I. Municipal Public Access Vision

### A. Overview of Municipality



This map shows the Township boundary of Egg Harbor Township along with the names of the neighboring municipalities. The map has been composed by Polistina & Associates and the GIS data has been retrieved from <http://www.nj.gov/dep/gis/listall.html>

#### 1. Municipal Description

Egg Harbor Township is located on the Great Egg Harbor Bay at the southern tip of Atlantic County, New Jersey. Per the 2010 United States Census, the Township's



population was 43,323, reflecting an increase of 12,597 (+41.0 percent) from the 30,726 counted in the 2000 Census, which had in turn increased by 6,182 (+25.2 percent) from the 24,544 counted in the 1990 Census. Since 2010, the population is estimated to have risen slightly to 43,851 as of 2014.

The Township is bordered by the Great Egg Harbor Bay to the south, Hamilton Township to the west, Galloway Township and the City of Absecon to the north and Absecon Island to the east. Portions of the Township, notably the West Atlantic City, Anchorage Poynte and Seaview Harbor neighborhoods, are not contiguous to the main body of the municipality, having been separated from the mainland portion of the Township as municipalities were formed, largely since the boroughitis phenomenon in the 1890s.

Egg Harbor Township includes the unincorporated villages of Bargaintown (the Township's seat of government), Cardiff, English Creek, Farmington, Scullville (formerly known as Jeffers), Steelmanville and West Atlantic City, as well as part of McKee City. Other localities and place names located partially or completely within the Township include Devonshire, English Creek Landing, Greenwood, Idlewood, Jeffers Landing, Jobs Point, Jones Island, McKee City Station, Mount Calvary, Pleasantville Terrace, Pork Island, Rainbow Islands and Sculls Landing.



This map shows the portion of the Pinelands located in Egg Harbor Township. The map has been composed by Polistina & Associates and the GIS data has been retrieved from <http://www.nj.gov/dep/gis/listall.html>

The Township is one of 56 South Jersey municipalities that are included within the New Jersey Pinelands National Reserve, a protected natural area of unique ecology covering 1,100,000 acres, which has been classified as a United States Biosphere Reserve and established by Congress in 1978 as the nation's first National Reserve. The Township is designated a Pinelands Regional Growth Area with the Pinelands Area located west of the Garden State Parkway and north of Ocean Heights Avenue.

The remainder of the Township is regulated by the coastal regulations. In 1973, New Jersey enacted the Coastal Areas Facilities Review Act (CAFRA), which is designed to protect the vital shore areas of New Jersey from being overdeveloped. In accordance with CAFRA, residential development, commercial development, industrial development, and public development in these areas are regulated through permitting from the New Jersey Department of Environmental Protection (NJDEP).

## **2. Public Access Description**

Public Access in Egg Harbor Township is provided by the municipality and consists of a variety access points and facilities including boat ramps, beach walkways, bathroom facilities, kayak and small boat launches, nature trails, unimproved natural access points and public parks. Egg Harbor Township protects and ensures public access through ordinances, community clean-ups, and yearly inspections. The overall goal of this MPAP is to establish Egg Harbor Township's plan to maintain and enhance all existing public access locations to and along tidal waterways and their shores.



Public Access Location 49 - behind Comfort Inn & Suites located off of the Black Horse Pike and Paris Place in West Atlantic City.

A great recreational asset to Egg Harbor Township is that it is located along the Great Egg Harbor River and the Great Egg Harbor Bay. There are a number of visual and physical access points throughout these areas. This provides the public with opportunities for sightseeing, bird watching, fishing, kayaking, paddle boarding, and other recreational activities.

Egg Harbor Township currently contains numerous public access facilities. Along Lakes Bay, parallel to the Black Horse Pike in the West Atlantic City section of the Township, provides access to the beach and bay as most development is located north of Bay Drive. Access points are provided at almost every street end along Bay Drive, including handicap access. Wind surfing and kayaking are permitted along the beach. Fishing, crabbing, and netting is restricted in this area. It is currently a condemned closed area for shellfish.



Egg Harbor Township also provides access to the Great Egg Harbor River and its tributaries along Somers Point - Mays Landing Road (County Route 559). There are five large tributaries of the Great Egg Harbor River located in Egg Harbor Township - Patcong Creek, Miry Run, English Creek, Perch Cove Run, and Lakes Creek. Several other smaller tributaries such as Landing Creek, Mathis Run, Powel Creek, Flat Creek, Elder Creek, Nell Run, Wharf Creek, Bond Point Creek, and Job's Point Creek are also located in the Township.



Public Access Location 1 - on Miry Run Bridge located along Mays Landing - Somers Point Road (County Route 559).

Some of these locations allow for fishing, while all bridges restrict swimming. All locations are accessible for visual access. Visual access provides opportunities for bird watching and sightseeing. The Great Egg Harbor River and its tributaries are home to many diverse species that are unique to this area. Some of the wildlife that can be seen at these locations include striped bass and alewife herring that return from the ocean and spawn in the Great Egg Harbor River's tributaries. Several threatened and endangered species can also be seen in these areas such as the bald eagle, the peregrine falcon, and the Pine Barrens tree frog.



Public Access Location 21 - along Mays Landing - Somers Point Road (County Route 559).

The Township has participated in a wetland mitigation project that was completed in June 2014 that is located on Somers Point - Mays Landing Road. The project was to offset the impacts from county road improvements on other wetland areas. The visual access location allows the public to be aware of the Township's efforts in restoring wetlands while also serving as an education tool on its importance. Native plant and animal species can be found at this sight, including threatened and endangered species as previously mentioned. It is also a nesting area for many birds.

A public boat ramp is located on Warf Road which provides access to English Creek which then leads into the Great Egg Harbor River. Fishing is permitted on this site and it also provides opportunities for sightseeing and bird watching. Boat slips and bait can be purchased at this location from a private owner. The physical and visual access is open for the public to utilize.

Egg Harbor Township provides visual and physical access along the Great Egg Harbor River and its tributaries. These access locations provide the public with the opportunity to view



and utilize the coastal environment. The beaches, fishing, birding and other nature related opportunities play a great role in making Egg Harbor Township an ideal community to reside in. Therefore, public access shall remain a priority. Visual and physical access to the Great Egg Harbor River, Great Egg Harbor Bay, Lakes Bay, and other tributaries is a necessity.



Public Access Location 8 - at the end of Wharf Road.

### **3. Map 1 - Egg Harbor Township Tidal Waterways and Lands**

This map shows all the tidal waterways within the municipality and all lands held by the municipality and may be found in Appendix 3.

## **B. Municipal Public Access Goals and Objectives**

As part of the planning process, this MPAP has been reviewed and is consistent with the following goals/elements/policies established in Egg Harbor Township's 2017 Master Plan Reexamination:

### **1. Goals**

The Municipal Land Use Law empowers municipal governments with the right to control the physical development of the lands within their bounds. N.J.S.A. 40:55D-2 of the Municipal Land Use Law, as amended, lists 16 general purposes regarding the local planning process. The following 2017 Master Plan Reexamination General Municipal Land Use Law Goals are applicable and consistent with the Municipal Public Access Plan:

#### **1.4 General Municipal Land Use Law Goals**

1. To encourage decision-makers and/or municipal action to guide the appropriate use or development of lands within the Township. (p.3)
5. To promote the establishment of appropriate locations within the Township for agricultural, residential, recreational/open space, governmental, commercial and industrial uses. (p.4)
6. To promote the conservation of open space and valuable natural resources and to prevent urban sprawl and degradation of the environment through improper use of land. (p.4)
7. To promote a desirable visual environment through conservation and preservation of valuable natural features. (p.4)
8. To promote the conservation of historic sites, open space and valuable natural resources, and to prevent sprawl and the

degradation of the environment that may occur through improper use of land. (p.4)

## **2. Elements**

As restated in the 2017 Master Plan Reexamination - Statement of Goals, Objectives and Assumptions, the Master Plan includes the following Elements which contain specific goals and objectives relating to the Township's Municipal Public Access Plan:

**Conservation Element (Chapter 10, p.9)** - Protect and preserve environmentally sensitive areas as well as the flora and fauna and other natural resources within it.

**Recreation/Open Space Element (Chapter 11, p.8)** - Continue to assess the need for recreation and open space facilities as growth continues.

**Land Use Element (Chapter 12, p.7)** - Guiding residential development where existing or planned infrastructure will support it, maintaining Egg Harbor's quality of life, ensuring new development is compatible with the Egg Harbor's existing character, discouraging development in environmentally sensitive areas and promoting a sense of community through physical design.

## **3. Policies:**

As restated in the 2017 Master Plan Reexamination - Statement of Goals, Objectives and Assumptions, updates and refines the specific objectives of the previously adopted Master Plan and provides a framework for balancing preservation and economic development in Egg Harbor Township. The following policies and principals provide the basis for the Land Use Plan.

### **1. General Goals, Objectives and Assumptions**

- f.* To protect and enhance the quality of life and living environment which has historically been an essential part of the character of the community. (p.6)
- g.* To consider and evaluate innovative development proposals that would enhance and protect environmental features, minimize energy usage and encourage a creative design that is also consistent with the other policies of the Township. (p.6)
- h.* To advance innovative public and private partnerships that coordinate procedures and activities that lessens the cost of development and promote the most efficient use of land. (p.6)
- i.* To discourage development in flood hazard areas, wetlands areas, areas with soils having poor drainage characteristics, and environmentally sensitive areas. (p.6)

- j. To encourage and protect the continued development of agricultural uses within the Township. (p.6)
- l. To promote the preservation and conservation of open space and environmentally sensitive areas through coordination of the Township's planning efforts with other entities and governmental agencies. (p.6)

In addition to those goals outlined within the Master Plan and the three State required goals below, Egg Harbor Township establishes the following as goals specifically for public access:

1. All existing public access shall be maintained to the maximum extent practicable.
2. Maintain safe and adequate access locations for fishing.
3. Provide clear informative signage for access locations.
4. Implement the proposed River Conservation (RC) zone overlay contemplated in the River Management Plan for the Great Egg Harbor National Scenic and Recreational River to provide greater protection for the Great Egg Harbor River and its tributaries.

## II. Existing Public Access

### A. Public Access Locations

**Map 2 - Egg Harbor Township Public Access Locations**, identifies an inventory of all public access locations within Egg Harbor Township whether they are currently Utilized, Restricted, Un-utilized along with their attributes of improvements, and activities. See **Table 1** which provides detailed information needed for each location. Both may be found in Appendix 3.

### B. Improved Public Access Locations

**Map 3 - Egg Harbor Township Handicapped Accessible Public Access Locations**, provides an inventory of the preferred, existing and proposed, public access locations that provide access to public trust lands and waters.

The majority of the public access locations are used for visual access as opposed to physical access. However, there are a number of physical public access locations shown on the map. There are three physical public access locations that are handicap accessible. These locations include the Ocean City-Longport Bridge Fishing Pier, beach access at the intersection of Athens Avenue and Bay Drive, and beach access behind the Comfort Inn & Suites on Paris Place (near the Black Horse Pike in West Atlantic City).

See **Table 1** which provides detailed information on each location. Both may be found in Appendix 3.



### C. Limitations to Public Access

Egg Harbor Township offers excellent public access to its waterfront areas. However, the following limitations to public access in Egg Harbor Township currently exist:

Physical public access to Miry Run, Perch Cove Run, Powell Creek, Lakes Creek, Patcong Creek, Matthews Run, Nell Run, and Steelman Bay currently does not exist. These shorelines have visual access from numerous public roadways that intersect or run adjacent to the waterway.



Public Access Location 29 - on the JFK Memorial Bridge on Longport - Somers Point Boulevard (Route 152).

#### 1. *Temporary Restrictions*

- a. The JFK Memorial Bridge restricts fishing except from 6PM to 6AM October 1st to April 30th.
- b. Malibu Beach is open daily from 5AM to 9PM.

#### 2. *Permanent Restrictions*

The following locations noted in the Public Access Inventory where public access will not be provided or otherwise improved due to any one of the following reasons:

1. Physical Public Access will not be provided along Lakes Bay between West Plaza Place and Seville Avenue as the area is condemned and closed in order to prevent damage to shellfish waters within the environment.
2. Physical Public Access is restricted along portions of Malibu Beach where signage exists indicating that it is a Wildlife Management Area providing nesting habitats for threatened and endangered birds throughout the year.
3. Physical Public Access will not be provided at bridges where access is a public safety issue.



Public Access Location 41, 42, & 43 - on Bay Drive between West Plaza Place and Seville Avenue.

## III. Community Needs Assessment

Egg Harbor Township has always been responsive to the needs of both residents and visitors. The Egg Harbor Township Planning Board during its 2017 Egg Harbor Township Master Plan Reexamination, considered the public access needs of the community. Both the existing public access facilities and the community needs were examined as part of the adoption of this document. In addition, the Township through meetings of the Township Council, Planning Board and other civic bodies, regularly hears residents and visitors express their

needs and desires regarding public access. The key points of these forums are summarized in the following section:

Egg Harbor Township has performed a community needs assessment. The methods and results are described in the following section:

1. The public access needs of the Egg Harbor Township community is a priority of the Township and this plan. Access to the Great Egg Harbor River, Great Egg Harbor Bay, Bargaintown Pond, Lakes Bay, and English Creek for entertainment and enjoyment plays a great role in giving Egg Harbor Township its distinctive sense of place.
2. It is not the intent of this plan to address all community needs such as access for boating. Private businesses within the Township and in neighboring communities provide ample marinas, boating ramps, dockage or other boating improvements.
3. Access Need - Physical Access to Miry Run, Perch Cove Run, Powell Creek, Lakes Creek, Patcong Creek, Matthews Run, Nell Run, and Steelman Bay. Implementing the conceptual physical improvements would provide physical interactive access opportunities.

## IV. Implementation Plan

Egg Harbor Township has created an Implementation Plan composed of Priorities, Preservation of Public Access Locations, Signage, Proposed Access Improvements and Facilities, and Municipal Tools for Implementation as described in the following section:

### A. Priorities

Based on the Existing Public Access Inventory and the Community Needs Assessment, Egg Harbor Township developed the following priorities:

#### 1. *Maintain Existing Public Access*

- a. Maintain all existing access points and signage shall be maintained and preserved. As noted in the Community Needs Assessment, addressing community needs for public access is a priority of this plan. Access to Lakes Bay, the Great Egg Harbor River and all other waterways leading to the Atlantic Ocean for entertainment and enjoyment places a great role in giving Egg Harbor Township its distinctive sense of place.
- b. Maintain the Egg Harbor Township's beach front to Lakes Bay and access to it. The Township must continue to maintain beach

replenishment and shoreline protection projects. Safety of the community is also an essential public necessity. Beach maintenance will be made in accordance with approved plan to protect the public and ensure protection of endangered species. Environmentally sensitive areas should not be compromised and public access should only be provided in appropriate locations.

- c. Support the preservation and viability of existing private access areas in Egg Harbor Township. It is not the intent of this plan to address all community needs such as access for boating. Private businesses and clubs/organizations within the Township and neighboring communities provide ample marinas, boating ramps, dockage, or other boating improvements.
- d. Maintain the identification of public access locations. The Township must continue to maintain the signs that identify public access locations and the names of the bodies of water that are being accessed.
- e. Maintain and improve existing public access points: Because Egg Harbor Township has few physical public access locations, the Township must strive to maintain and improve its existing access wherever possible. The Township has already made accessible improvements at many beach access points along Lakes Bay and should continue to seek grants and make improvements to provide additional handicap accessible locations, decks, and tables where possible.

## **2. *Planned Enhancement to Public Access Locations and/or Facilities***

- a. Existing public access locations lack in their availability for public parking. In order for the public to enjoy the amenities of the access sites, parking improvement opportunities should be a main focus for the Township. These access locations may be underutilized because there is no public parking available, or parking is restricted in those areas. By proposing parking areas, it will allow for visitors to utilize and enjoy the physical and visual public access sites and all of the recreational opportunities and amenities that it offers.
- b. The Township should provide permanent bathroom locations where possible and sanitary sewer is available. Temporary Port-o-Potty's currently exist at the boat ramp access location on Wharf Road and the Ocean City-Longport fishing pier. Opportunities to provide



permanent bathroom facilities will enhance the public access location and benefit the aesthetics of the site.

- c. The Township should focus on providing more and maintaining the existing handicap accessible locations. There are three existing public access locations that are handicap accessible which include the Ocean City - Longport Fishing Pier, the beach at the intersection of Athens Avenue and Bay Avenue, and the beach on Paris Place. Maintaining these locations and adding new handicap accessible locations is essential in providing all members of the community public access to the Township's beaches and waterways.
- d. The majority of existing public access locations provide visual access rather than physical access. These locations can be utilized for bird watching as well as sightseeing for many threatened and endangered plant and animal species. Maintaining and enhancing these areas to make them more accessible to the public is essential in providing these recreational opportunities for the public's enjoyment and use. The Township can enhance these areas by adding observation decks or scenic overlooks for visitors to stop and view the scenery.
- e. The Township should provide a passive park in West Atlantic City along the Black Horse Pike that will utilize the vacant parcels. The park should emphasize open space which allows for the preservation of natural habitat. The park should contain benches, picnic areas, trails, and natural landscaping.

## **B. Preservation of Public Access Locations**

Egg Harbor Township developed the following preservation and conservation measures:

A majority of the public access locations are currently located on the municipal Recreation and Open Space Inventory (ROSI) and all public access locations are listed in Table 1 attached hereto in the Appendix. Any future municipally owned properties providing public access will be protected, through placement of the property providing access on the municipal Recreation and Open Space Inventory (ROSI). A list of Township-owned vacant lands wholly or mostly within the special flood hazard area is shown in Appendix 3.

### **1. Preservation Measures**

This MPAP has been reviewed and is consistent with the following preservations established in Egg Harbor Township's River Management Plan for the Great Egg Harbor National Scenic and Recreational River. The Township suggests sensible conservation strategies for the Great Egg Harbor River, its tributaries, and watersheds which will also be applied within the

preservation measures of the MPAP. The following actions have been recommended in the Future Actions section of the River Management Plan:

**Future Actions (p. 10-69)**

1. The Planning Board of Egg Harbor Township should adopt the goals of this River Management Plan in conjunction with the conservation element of the conservation element. These recommendations should be forwarded to the Governing Body for review and possible amendments to Chapter 225 of the Township Code in order to establish the River Conservation (RC) Zone. (p. 10-69)
2. The Governing Body should encourage interested residents to create an association that would assist in educating the public on the importance of preserving the Great Egg Harbor River, its tributaries and watershed. (p. 10-69)
3. The Governing Body should continue to review policies related to surface water quality testing for runoff from golf courses and continue existing programs in place. (p. 10-69)

The MPAP is also consistent with the Conservation Policies section of the Township's 2017 Master Plan Reexamination. The Conservation Element does not list specific policies or objectives. However, within the element are several policies which should be considered. They include the following:

**5. Conservation Policies**

- a. Protect groundwater, flora and fauna, especially those listed on the threatened and/or endangered species list. (p. 8)
- b. Preserve the Great Egg Harbor River and its tributaries as designated in the National and Scenic River System. (p. 9)
- c. Enhance the recreational opportunities such as boating, fishing and hunting in the Great Egg Harbor River and tributaries. (p. 9)
- d. Preserve woodlands, especially older forests. (p. 9)
- e. Encourage public access to streams, lakes and estuarine areas. (p. 9)
- f. Protect aquifer areas, especially the Cohansey Sand Formation. (p. 9)

**C. Signage**

Egg Harbor Township has provided the following signage:



**Photo 1 (Public Access Location 1):** Miry Run Bridge looking west, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 2 (Public Access Location 1):** Miry Run Bridge looking east, showing existing signage on Mays Landing - Somers Point Road (County Route 559).





**Photo 3 (Public Access Location 1):** Miry Run Bridge looking west, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 4 (Public Access Location 5):** Powell Creek Bridge looking southwest, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 5 (Public Access Location 7):** English Creek Bridge looking south, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 6 (Public Access Location 7):** English Creek Bridge looking south, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 7 (Public Access Location 7):** English Creek bridge looking north, showing existing signage on Mays Landing - Somers Point Road (County Route 559).

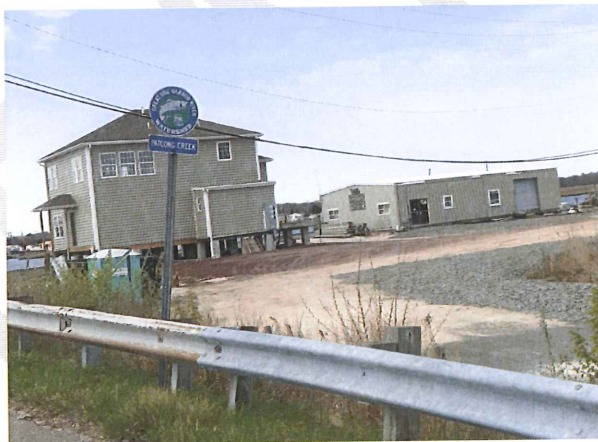


**Photo 8 (Public Access Location 11):** Lakes Creek Bridge looking southwest, showing existing signage on Mays Landing - Somers Point Road (County Route 559).





**Photo 9 (Public Access Location 11):** Lakes Creek Bridge looking southwest, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 10 (Public Access Location 14):** Patcong Creek Bridge looking north, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 11 (Public Access Location 14):** Patcong Creek Bridge looking north, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 12 (Public Access Location 14):** Patcong Creek Bridge looking northwest, showing existing signage on Ocean Heights Avenue (County Route 559 Alternate).



**Photo 13 (Public Access Location 19):** Nell Run looking southwest, showing existing signage on Mays Landing - Somers Point Road (County Route 559).



**Photo 14 (Public Access Location 21):** Lakes Creek Wetland Mitigation Bank looking southwest, showing existing signage on Mays Landing - Somers Point Road (County Route 559).





**Photo 15 (Public Access Location 22):** Patcong Creek/Bargaintown Pond Bridge looking south, showing existing signage on Central Avenue (County Route 661).



**Photo 16 (Public Access Location 22):** Patcong Creek/Bargaintown Pond Bridge looking north, showing existing signage on Central Avenue (County Route 661).



**Photo 17 (Public Access Location 22):** Patcong Creek/Bargaintown Pond Bridge looking north, showing existing signage on Central Avenue (County Route 661).



**Photo 18 (Public Access Location 22):** Patcong Creek/Bargaintown Pond Bridge looking north, showing existing signage on Central Avenue (County Route 661).









**Photo 21 (Public Access Location 23):**  
Patcong Creek Bridge looking south,  
showing existing signage on Poplar Avenue.



**Photo 22 (Public Access Location 23):**  
Patcong Creek Bridge looking south,  
showing existing signage on Poplar Avenue.



**Photo 23 (Public Access Location 23):** Patcong Creek Bridge looking south, showing existing signage on Poplar Avenue.



**Photo 24 (Public Access Location 23):** Patcong Creek Bridge looking south, showing existing signage on Poplar Avenue.





**Photo 25 (Public Access Location 24):** Cedar Bridge looking south, showing existing signage on Zion Road (County Route 615).



**Photo 26 (Public Access Location 24):** Cedar Bridge looking south, showing existing signage on Zion Road (County Route 615).





**Photo 27 (Public Access Location 24):** Cedar Bridge looking north, showing existing signage on Zion Road (County Route 615).



**Photo 28 (Public Access Location 24):** Cedar Bridge looking north, showing existing signage on Zion Road (County Route 615).



**Photo 29 (Public Access Location 25):** Steelman Bay Bridge looking southwest, showing existing signage on Longport - Somers Point Boulevard (Route 152).

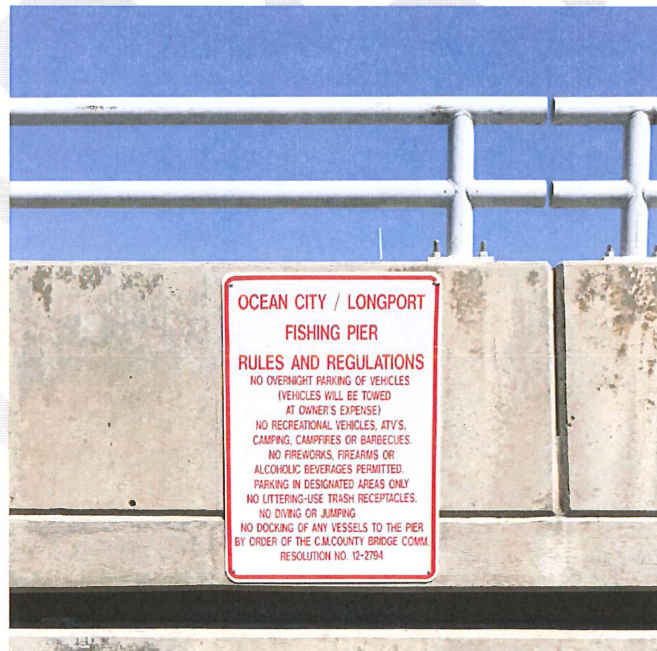


**Photo 30 (Public Access Location 29):** JFK Memorial Bridge looking south, showing existing signage on Longport - Somers Point Boulevard (Route 152).





**Photo 31 (Public Access Location 29):** JFK Memorial Bridge looking south, showing existing signage on Longport - Somers Point Boulevard (Route 152).



**Photo 32 (Public Access Location 30):** Ocean City/Longport Fishing Pier, looking east to show the signage indicating the rules and regulations for utilizing the pier located on Ocean City - Longport Boulevard (Route 52).



**Photo 33 (Public Access Location 30):** Ocean City/Longport Fishing Pier, looking north to show the signage indicating the rules and regulations for utilizing the pier located on Ocean City - Longport Boulevard (Route 52).



**Photo 34 (Public Access Location 31):** Malibu Beach, looking east, showing signage indicating the rules and regulations for utilizing the Wildlife Management Area located on Ocean City - Longport Boulevard (Route 52).





**Photo 35 (Public Access Location 31):** Malibu Beach, looking east, showing signage indicating the rules and regulations for utilizing the Wildlife Management Area located on Ocean City - Longport Boulevard (Route 52).



**Photo 36 (Public Access Location 31):** Malibu Beach, looking east, showing signage indicating the rules and regulations for utilizing the Wildlife Management Area located on Ocean City - Longport Boulevard (Route 52).



**Photo 37 (Public Access Location 33):** Intersection of Lyons Court and Bay Drive looking south, showing existing signage on Bay Drive.





**Photo 38 (Public Access Location 42):** Intersection of East Plaza Place and Bay Drive looking south, showing existing signage on Bay Drive.



**Photo 39 (Public Access Location 44):** Intersection of Athens Avenue and Bay Drive looking south, showing existing signage on Bay Drive.



**Photo 40 (Public Access Location 49):** Behind Comfort Inn & Suites looking south, showing existing signage on Paris Place.



**Photo 41 (Public Access Location 49):** Behind Comfort Inn & Suites looking south, showing existing signage on Paris Place.





**Photo 42 (Public Access Location 52):** Lakes Bay Nature Preserve looking south, showing existing signage on Bayport Drive.



**Photo 43 (Public Access Location 55):** Shelter Island Bay/Lakes Bay Bridge looking northeast, showing existing signage on Northfield - Margate Boulevard (County Route 563).



**Photo 44 (Public Access Location 57):** Whirlpool Channel Bridge looking northeast, showing existing signage on Northfield - Margate Boulevard (County Route 563).



**Photo 45 (Public Access Location 57):** Whirlpool Channel Bridge looking northeast, showing existing signage on Northfield - Margate Boulevard (County Route 563).





**Photo 46 (Public Access Location 58):** Dock Thorofare Bridge looking northeast, showing existing signage on Northfield - Margate Boulevard (County Route 563).

Egg Harbor Township will adopt an ordinance requiring public access signs shall be installed at each public access way, public access area, and/or public parking area at the development sites and maintained in perpetuity by the permitted entity and its successors in title and interest.

The Township should provide signage at each public access way, public access area, and/or parking area that is in accordance with the NJDEP's Signage / Comprehensive Sign Program. Insufficient signage and public access locations without signage should be updated to include the following recommendations:

1. Identify and advertise public access sites that are not clearly inviting, such as boat yards, with a standard "Public Shore" sign. For larger developments, a comprehensive sign program should be implemented.
2. Provide wayfinding signs to assist shoreline users in traveling to and along the Bay.
3. Provide Bay Trail signs, where appropriate.
4. Provide signage that informs and educates visitors of unique historical, cultural and natural features.
5. Provide management signs in wildlife areas that describe environmental sensitivity and/or any rules and restrictions associated with the management of the wildlife area.
6. Do not locate general advertising signage in public access areas.

The Township should also provide signage of aesthetic and educational value to visitors where possible. The NJDEP provides suggestions for Interpretive Elements and Public Art for areas that can be enhanced to educate the public. These suggestions include:

1. Provide the public with interpretive elements that add interest to the shoreline and create a varied and rich Bay experience.
2. Provide interactive or kinetic site elements that allow people to more fully experience natural, cultural or historical factors of the site and the Bay.
3. Provide educational opportunities for public access users through identification of unique natural features and historical or cultural attributes.
4. Provide public art that complements the Bay setting, adds visual interest to the shoreline and provides visitors with a sense of discovery.

#### **D. Proposed Access Improvements and Facilities**

Egg Harbor Township has proposed the following access improvements and facilities:

1. Maintain Egg Harbor Township's beachfront along Lakes Bay, the Great Egg Harbor Bay and River, and all other tributaries and waterways.
2. Access Need - Implementing any necessary physical improvements that would provide physical interactive opportunities to any physical and visual public access locations.
3. Physical and Visual Access improvements for any existing or proposed access locations. Improvements could include handicap accessible ramps, restrooms, landscaping, picnic areas, walking paths, or other amenities to improve access along the Township's waterways.
4. The Township has already made accessible improvements for beach access points along Lakes Bay. The Township should continue to seek grants and make improvements to provide additional accessible ramps, bathrooms, decks, and tables where possible.
5. The Township should provide signage for all existing Physical and Visual Access locations. All future access points shall be signed.



## **E. Municipal Tools for Implementation**

In accordance with the Recreation and Open Space Policies section of the Egg Harbor Township's 2017 Master Plan Reexamination, Egg Harbor Township has the following tools for the maintenance, enhancement and development of public access locations:

### **1. Maintenance, Enhancement, & Development Tools**

#### **3. Recreation and Open Space Policies**

- a. The Township should continue to work closely with Atlantic County and the state of New Jersey in coordinating future land acquisitions and improvements for recreational purposes. (p. 7)
- b. All potential sources of funding for recreation purchases and improvements should be explored individually and with Atlantic County and state of New Jersey. Sources may include but not necessarily be limited to Green Acres Funding, the state dedicated open space tax fund, the municipal open space tax fund, private investment, developer contributions and other grant/loan programs. (p. 7)
- c. Existing streams and woodlands should be preserved as links between major active recreation areas and/or schools as well as provide for wildlife migration and nature study. (p. 8)
- d. The Township should actively seek donations of sizeable vacant parcels in strategic locations. (p. 8)
- e. Proper budgeting and incorporating the cost of maintenance in the capital improvement budget will help to preserve the Township's extensive investment in recreation and park areas. (p. 8)
- f. The Township should explore the acquisition of an additional passive park in the CAFRA area similar in size to the Temple Tract. (p. 8)
- g. Acquisition and development of parks should be encouraged in areas that are readily accessible to residents. The Township should continue the policy of establishing larger regional parks while discouraging a proliferation of pocket parks. (p. 8)

## F. Implementation

Egg Harbor Township has created an Implementation Schedule as follows:

### 1. *Existing Maintenance:*

Egg Harbor Township should continue to assess the need for recreation and open space facilities as growth continues. The Recreation and Open Space Policies from the 2017 Master Plan Reexamination mentioned in the previous section also apply for existing maintenance procedures. These policies were suggested to meet the current and future needs of residents while minimizing any necessary expenses.

### 2. *Enhancements to Existing Locations*

As mentioned previously, providing public access to the water and addressing community needs is a priority of the Township and this plan. Access to the Great Egg Harbor River, Lakes Bay, and all other tributaries and waterways leading to the Atlantic Ocean and beaches for entertainment and enjoyment plays a great role in giving Egg Harbor Township its distinctive sense of place.

- a. **Beaches:** Maintain the Egg Harbor Township's beach front to Lakes Bay and access to it. The Township must continue to maintain beach replenishment and shoreline protection projects. Safety of the community is also an essential public necessity. Beach maintenance will be made in accordance with approved plan to protect the public and ensure protection of endangered species. Environmentally sensitive areas should not be compromised and public access should only be provided in appropriate locations.



Public Access Location 47 - at the intersection of Bay Drive & Grenada Avenue,

- b. **Beach Access Points:** The Township has already made accessible improvements at many beach access points along Lakes Bay and should continue to seek grants and make improvements to provide additional handicap accessible locations, observation decks, and tables where possible.
- c. **Public Parking:** Existing public access locations lack in their availability for public parking. Public parking additions to existing public access locations will enhance the usage of the site.



- d. **Permanent Restrooms:** Temporary Port-o-Potty's currently exist at two public access locations, the boat ramp on Wharf Road and the Ocean City -Longport fishing pier. These are the only two restrooms located at a public access point. They should be upgraded to a more permanent restroom area.



Public Access Location 44 - at the intersection of Bay Drive & Athens Avenue,

- e. **Handicap Accessible:** Maintaining and adding new handicap accessible structures to existing public access points is essential in providing all members of the community public access to the Township's beaches and waterways.
- f. **Observation Decks & Overlooks:** The majority of existing public access locations are visual rather than physical access. Maintaining and enhancing these areas to make them more accessible to the public is essential in providing the recreational opportunities for the public's enjoyment and use. The Township can enhance these areas by adding observation decks or scenic overlooks for visitors to stop and view the scenery.

### 3. ***Proposed Locations and Facilities***

As discussed previously, Egg Harbor Township mainly has visual public access to coastal waters, and should seek opportunities to improve and expand on these locations. It is in the Township's intent to maintain and improve existing access wherever possible. The existing public access locations, visual and physical, shall be improved and maintained where possible. The Township has already made accessible improvements at many beach access points and should continue to seek grants and make improvements to provide additional accessible features.

## **G. Army Corps of Engineers Requirements for Shore Protection Projects (if applicable)**

***Egg Harbor Township*** has met the ACOE Requirements as follows:

### ***1. West Atlantic City Project***

This project is permitted through the ACOE which indicates that all future shore protection projects will meet the ACOE requirements where required.

## V. Resolution of Incorporation

Egg Harbor Township has approved a resolution for the incorporation of the MPAP. See Appendix 2 for the draft resolution.

DRAFT

## **APPENDIX 1**

### **Municipal Public Access Plans**

#### **Required Sections per NJAC 8.11 (e)**

1. (e) 1 Statement describing overall **goal of the MPAP** and the **administrative mechanisms** (for example, conservation restrictions, easements, ordinances) that either are already in place, or that shall be put in place to ensure that the municipality will meet public access goals
2. (e) 2 Statement of **Consistency with...Master Plan**
3. (e) 3 Public access **needs assessment** that evaluates:
  - existing access locations and capacities
  - practical limitations (esp. parking and bathrooms)
  - alternatives to address any limitations determined to exist
  - need for additional locations
4. (e) 4 **Digital Map and Inventory** identifying...:
  - tidal waterways within municipality and adjacent lands held by municipality
  - existing and proposed public access ways
  - proposed public access facilities
  - identified facilities compliant with ADA
5. (e) 5 **Implementation strategy**
  - forms of proposed public access responsive to needs assessment (i)
  - comprehensive list of specific public access projects and initiatives with implementation schedule (ii)
  - proposed tools to implement the plan, including (iii)
    - i. adoption or amendment of muni ordinances
    - ii. uses of monetary compensation (Public Access Fund), if any
  - proposed modifications to existing plans, ordinances & programs to implement MPAP (iv)
  - proposed compliance with ACOE requirements for shore protection projects [see 8.11(r)] (v)
  - cost of implementing, constructing and maintaining the access facilities proposed in the plan and specifies how this cost will be funded (vi)
  - implementation schedule (vii)
  - ordinances in place/to be adopted re signage requirements (viii)
  - measures to permanently protect public access per MPAP (ix)
  - examples/models of easements/restrictions for permanent protections (x)
  - draft resolution incorporating DEP-approved MPAP into a MP element (xi)



## APPENDIX 2

### Model Resolution for Incorporating MPAP into Master Plan

Resolution # \_\_\_\_\_

Title: A RESOLUTION APPROVING THE MUNICIPAL PUBLIC ACCESS PLAN

WHEREAS, the *{municipality name}* Municipal Public Access Plan was submitted to the Township Council and reviewed at the regular meeting of *{date}*, and

WHEREAS, the governing body has approved the plan as submitted,

NOW, THEREFORE, BE IT RESOLVED by the *{municipality governing body}* of *{municipality name}*, the "*{municipality name}* Municipal Public Access Plan," a copy of which is attached, is hereby approved.

FURTHER RESOLVED a copy of the plan shall be sent to the New Jersey Department of Environmental Protection for review and approval in accordance with N.J.A.C.7.7 and 7.7E.

I hereby certify the foregoing to be a resolution adopted by the *{governing body}* at a meeting held on *{date}*.

\_\_\_\_\_  
Municipal Clerk

**APPENDIX 3**  
**Maps and Table**

*Table 1 {Municipality} Public Access Location Amenities*

*Map 1 {Municipality} Tidal Waterways and Lands*

*Map 2 {Municipality} Public Access Locations*

*Map 3 {Municipality} Handicapped Accessible Public Access Locations*

**Green Acres Recreation Open Space Inventory (ROSI)**

**Township Owned Vacant Lands Wholly or Mostly within the Special Area Flood Hazard Area**

ID	SIGN	PARKING	NUM. PARKING	STREET	BADGE	SWIMMING	FISHING	SURFING	PLAY- GRND	PIER	BOAT- LNCH	MARINA	FOOD_ DRINK	REST-RM	SEATS	H_C	SHORE-LINE	ACCESS TYPE
1	Yes	No	No	Bridge on Mays Landing Somers Point Road - south of West Avenue and Young's Rigging	No	No	Yes	No	No	No	No	No	No	No	No	No	Miry Run	Visual, Fishing
2	No	No	No	Bridge on Mays Landing Somers Point Road - south of Green Tree Golf Course and South of 1051 ML SP Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Great Egg Harbor River	Visual, Fishing
3	No	No	No	Bridge on Mays Landing Somers Point Road - North of MarineMax May's Landing Service Center & North of Common Drive, North of 1083 Somers Point-Mays Landing Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Perch Cove Run	Visual, Fishing
4	No	No	No	Bridge on Mays Landing Somers Point Road - south of Green Tree Golf Course and South of 1051 ML SP Road; North of Harbor Drive	No	No	Yes	No	No	No	No	No	No	No	No	No	Great Egg Harbor River	Visual, Fishing
5	Yes	No	No	Bridge on Mays Landing Somers Point Road- South of Betsy Skull Road & Lida Ave; North of Zion Road & Thompson Lane	No	No	Yes	No	No	No	No	No	No	No	No	No	Powell Creek	Visual, Fishing
6	Yes	No	No	Bridge on Mays Landing Somers Point Road- South of English Lane, Southwest of Zion Road; North of English Creek Avenue	No	No	Yes	No	No	No	No	No	No	No	No	No	English Creek	Visual, Fishing
7	Yes	No	No	Bridge on Mays Landing Somers Point Road- South of English Lane, Southwest of Zion Road; North of English Creek Avenue	No	No	Yes	No	No	No	No	No	No	No	No	No	English Creek	Visual, Fishing
8	No	No	No	Wharf Road; West of English Creek Avenue, South of English Lane, North of Bakers Place Road	No	No	Yes	No	No	No	Yes	No	No	Yes Port-o-potty	No	No	English Creek	Visual, Fishing, Physical (Boat Ramp)
9	No	No	No	Bevis Mill Road, West of Robert Best Road, East of Somers Point Mays Landing Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Lakes Creek	Visual, Fishing
10	No	No	No	Bevis Mill Road, Northwest of Robert Best Road, East of Somers Point Mays Landing Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Lakes Creek	Visual, Fishing
11	Yes	No	No	Mays Landing Somers Point Road, Northwest of Robert Best Road, South of Bevis Mill Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Lakes Creek	Visual, Fishing



12	No	No	Jeffer's Landing Road, Atlantic 651; East of Jeffers Landing Marina; West of Somers Avenue, North of GSP	No	No	Yes	No	No	No	No	No	No	No	No	No	Great Egg Harbor River	Visual, Fishing
13	No	No	Jeffer's Landing Road, small beach at the Jeffers Landing Marina	No	No	Yes	No	No	No	No	No	No	No	No	No	Great Egg Harbor River	Physical (Beach), Fishing
14	Yes	No	Mays Landing Somers Point Road, Bridge at the Waterfront	No	No	No	No	No	No	No	No	No	No	No	No	Patcong Creek	Visual, Fishing
15	No	No	Marine-Boat Yard Location Ocean Heights Avenue, at the Ocean Heights Marina	No	No	Yes	No	No	No	No	No	No	No	No	No	Patcong Creek	Visual, Fishing
16	No	No	Blackman Road, East of Harbor Pines Golf Club, South of Borch Grove Park, North of Greate Bay Country Club	No	No	Yes	No	No	No	No	No	No	No	No	No	Patcong Creek	Visual, Fishing
17	No	No	Somers Point-Mays Landing Road, Across from Greentree Golf Course, North of 1023 Somers Point-Mays Landing Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Great Egg Harbor River	Visual, Fishing
18	No	No	Somers Point-Mays Landing Road, between Common Drive and Betsy Scull Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Matthews Run	Visual, Fishing
19	Yes	No	Somers Point-Mays Landing Road, North of English Lane, South of Jonathan Smith Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Nell Run	Visual
20	No	No	English Creek Avenue, South of Zion Road, North of Somers Point-Mays Landing Road	No	No	Yes	No	No	No	No	No	No	No	No	No	English Creek	Visual, Fishing
21	Yes	No	Somers Point-Mays Landing Road, North of Lakes Creek Road, South of Lakes Creek	No	No	No?	No	No	No	No	No	No	No	No	No	Lakes Creek	Visual, Wetlands
22	Yes	No	Central Avenue, East of GSP, West of New Road, Borders Linwood	No	No	Yes	No	No	No	No	No	No	No	No	No	Bargaintown Pond, Mill Pond, Patcong Creek	Visual, Physical, Fishing
23	Yes	No	Poplar Avenue, between Blackman Road and New Road	No	No	Yes	No	No	No	No	No	No	No	No	No	Patcong Creek	Visual, Fishing
24	Yes	No	Zion Road; Bridge over Patcong Creek, between Blackman Road & New Road	No	No	No	No	No	No	No	No	No	No	No	No	Bargaintown Pond	Visual
25	No	No	Longport-Somers Point Boulevard, East of Caroline's	No	No	No	No	No	No	No	No	No	No	No	No	Steelman Bay	Visual
26	No	No	Longport-Somers Point Boulevard, before OCLP Blvd	No	No	No	No	No	No	No	No	No	No	No	No	Broad Thorofare	Visual

27	No	No	Longport-Somers Point Boulevard, North of Anchor Drive	No	No	No	No	No	No	No	No	No	No	No	No	No	Ship Channel	Visual
28	No	No	Longport-Somers Point Boulevard, South of Hospitality Drive	No	No	No	No	No	No	No	No	No	No	No	No	No	Great Egg Harbor Bay	Visual
29	No	No	JFK Memorial Bridge; Longport-Somers Point Blvd	No	No Fishing, Except 6pm-6am Oct 1-Apr 30	No	No	No	No	No	No	No	No	No	No	No	Great Egg Harbor Bay	Visual
30	Yes	Yes, No fee	22/4 HC Ocean City-Longport Bridge Fishing Pier; Ocean City-Longport Blvd	No	Yes	No	No	No	Yes	No	No	No	No	Yes (Port-o-potty)	6 Benches, 3 picnic tables	Yes	Great Egg Harbor Bay	Visual, Fishing
31	Yes	Yes, No fee	26 Malibu Beach; Ocean City-Longport Blvd	No	Yes	No	No	No	No	No	No	No	No	No	No	No	Great Egg Harbor Bay	Visual, Physical, Fishing Visual
32	No	No	Ocean City-Longport Bridge	No	No	Restrictions	No	No	No	No	No	No	No	No	No	No	Great Egg Harbor Bay	Visual/Physical
33	No	No	Lyons Court & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
34	No	No	Frankfort Court & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
35	No	No	Toulon Avenue & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
36	No	No	Genoa Avenue & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
37	No	No	Palermo Avenue & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
38	No	No	Florence Avenue & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
39	No	No	Cordova Avenue & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical
40	No	No	Toledo Drive & Bay Drive	No	No Fishing, Crabbing, Netting	Restrictions	No	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual/Physical

41	No	No	West Plaza & Bay Drive	No	No Access	No; Condemned/ Closed Area	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual
42	No	No	East Plaza & Bay Drive	No	No Access	No; Condemned/ Closed Area	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual
43	No	No	Seville Avenue & Bay Drive	No	No Access	No; Condemned/ Closed Area	No	No	No	No	No	No	No	No	No	Lakes Bay	Visual
44	No	No	Athens Avenue & Bay Drive	No	No Restrictions	Yes; No Restrictions	Yes; No Restrictions	No	No	No	No	No	No	No	Yes	Lakes Bay	Visual, Physical, Fishing
45	No	No	Naples Avenue & Bay Drive	No	No Access	No Access	No Access	No	No	No	No	No	No	No	No	Lakes Bay	Visual
46	No	No	Venice Avenue & Bay Drive	No	No Access	No Access	No Access	No	No	No	No	No	No	No	No	Lakes Bay	Visual
47	No	No	Grenada Avenue & Bay Drive	No	No Restrictions	No Restrictions	Yes; No Restrictions	No	No	No	No	No	No	No	No	Lakes Bay	Visual, Physical, Fishing
48	No	No	Brenta Avenue & Bay Drive	No	No Access	No Access	No Access	No	No	No	No	No	No	No	No	Lakes Bay	Visual
49	Yes	Yes; \$10/day; \$40/yr	Paris Place; Behind Comfort Inn & Suites; Extreme Wind Surfing	No	Yes	Yes	Yes	No	No	No	No	Yes	No	4 Benches, 2 Gazebos	Yes	Lakes Bay	Visual, Physical, Fishing
50	No	No	Oxford Place	No	No Restrictions	Yes; No Restrictions	Yes; No Restrictions	No	No	No	No	No	No	No	No	Lakes Bay	Visual, Physical, Fishing
51	No	No	Fox Place	No	No Restrictions	Yes; No Restrictions	Yes; No Restrictions	No	No	No	No	No	No	No	No	Lakes Bay	Visual, Physical, Fishing
52	Yes	No	Bayport Drive; Lakes Bay Nature Preserve	No	Yes	No Fishing, Crabbing, Netting	Yes	No	No	No	No	No	No	No	No	Lakes Bay	Visual, Physical, Fishing
53	No	No	BHP, North of Bay Drive	No	No Restrictions	No Restrictions	Yes; No Restrictions	No	No	No	No	No	No	No	No	Lakes Bay	Visual, Fishing
54	No	No	Northfield-Margate Boulevard, toll bridge	No	No Trespassing	No	No	No	No	No	No	No	No	No	No	Beach Thorofare	Visual
55	Yes	No	Northfield-Margate Boulevard, between Pork Island & Toms Island	No	No	No	No	No	No	No	No	No	No	No	No	Shelter Island Bay	Visual
56	No	No	Northfield-Margate Boulevard, between Toms Island & Williams Island	No	No	No	No	No	No	No	No	No	No	No	No	Whirpool Channel	Visual
57	Yes	No	Northfield-Margate Boulevard, between Kiah's Island & Williams Island	No	No	No	No	No	No	No	No	No	No	No	No	Whirpool Channel	Visual



58	Yes	No	Northfield-Margate Boulevard, between Kiah's Island & Sea Village Marina	No	No	No	No	No	No	No	No	No	No	No	No	Dock Thorofare	Visual
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This imbedded Excel spread sheet should be used for the table described in Section II (Existing Public Access). The title of each column should not be changed. The information about each public access location should be filled in using one of the options listed. This table will also be used to populate the information for each public access location in GIS. Additional information about each public access location can be included in the narrative portion of Section II. Please contact DEP with any questions or concerns about these options.

SIGNS: Does the location provide signage identifying the location as a point of public access? Yes/No

PARKING: Is there parking, and if so, is there a charge? Charge = there is a charge for public parking; No Charge = there is no charge for public parking; No = no public parking provided

AMT: How many parking spots are available? Provide a number

STREET: At what street end is the public access located? For parallel access, cross streets can be provided. Examples: 1<sup>st</sup> St; Ocean Ave/3<sup>rd</sup>; 45<sup>th</sup> St

BADGE: Are there times when a badge is required to use this location? Yes/No

SWIMMING: Can you swim at this location? Guard= a guard is provided at times; At Own Risk= No guard is provided; No= Swimming is not allowed

FISHING and SURFING: Is fishing/surfing allowed at this location? Unrestricted= Fishing/surfing is allowed at all times with no restrictions; Restricted= There exists a form of restriction of fishing/surfing, examples include time of day, seasonally, etc. These restrictions should be discussed in the Section II, C. (Limitations to Public Access).

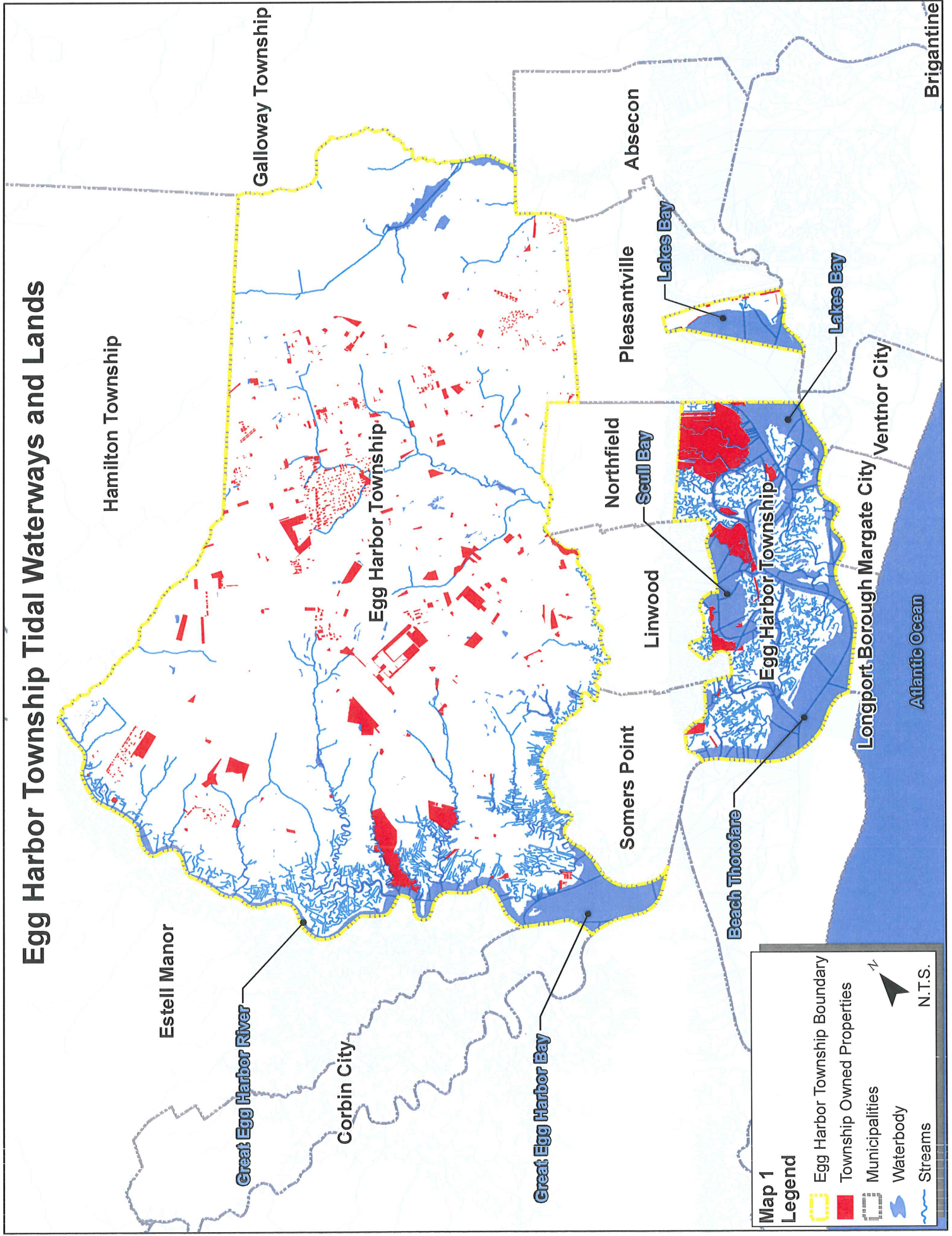
PLAYGRD, PARK, PIER, BOATLNCH, MARINA, FOOD\_DRINK, RESTRMS, SEATS: Does this location include these amenities? Yes/No

H\_C: Is this location handicap accessible? (Not necessarily ADA Compliant) Yes/No. The type of accessibility should be expanded upon in Section II, B (Improved Public Access Locations).

SHORELINE: What shoreline does this location inhabit? The Beach, Bay, or River?

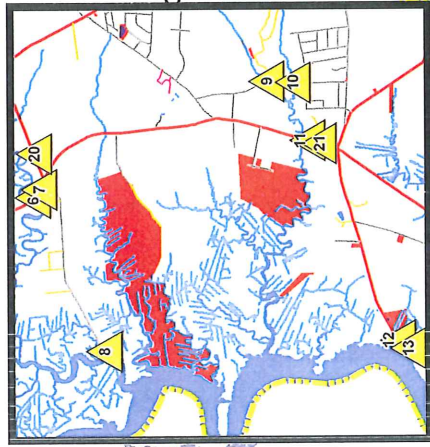
TYPE: Describe the type of access-physical, visual, only, water

# Egg Harbor Township Tidal Waterways and Lands



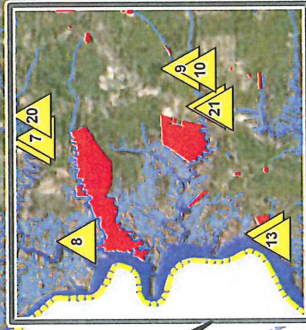


# Egg Harbor Township Public Access Locations

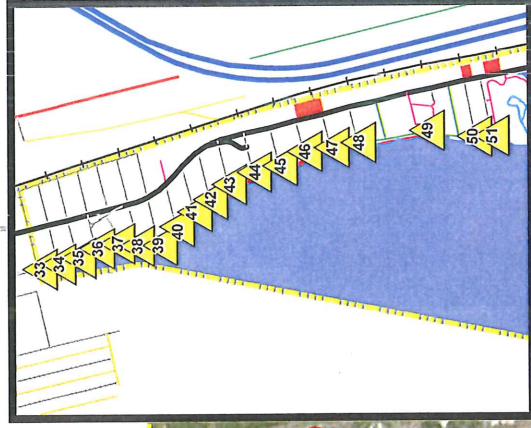


Corbin City

Great Egg Harbor Bay



Hamilton Township



ship

Egg Harbor Township

Great Egg Harbor River

Northfield

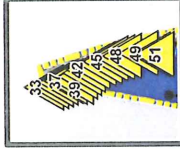
Soull Bay

Linwood

Somers Point

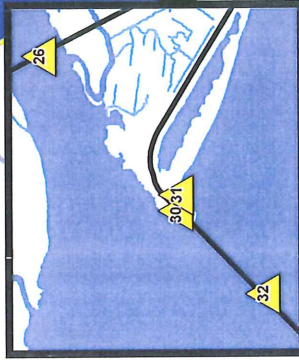
Absecon

Pleasantville



Lakes Bay

Egg Harbor Township



N.T.S.



Map 2  
Legend

- Public Access Locations
- Township Owned Properties
- Egg Harbor Township Boundary

Beach Thorofare

Longport Borough Margate City

Ventnor City

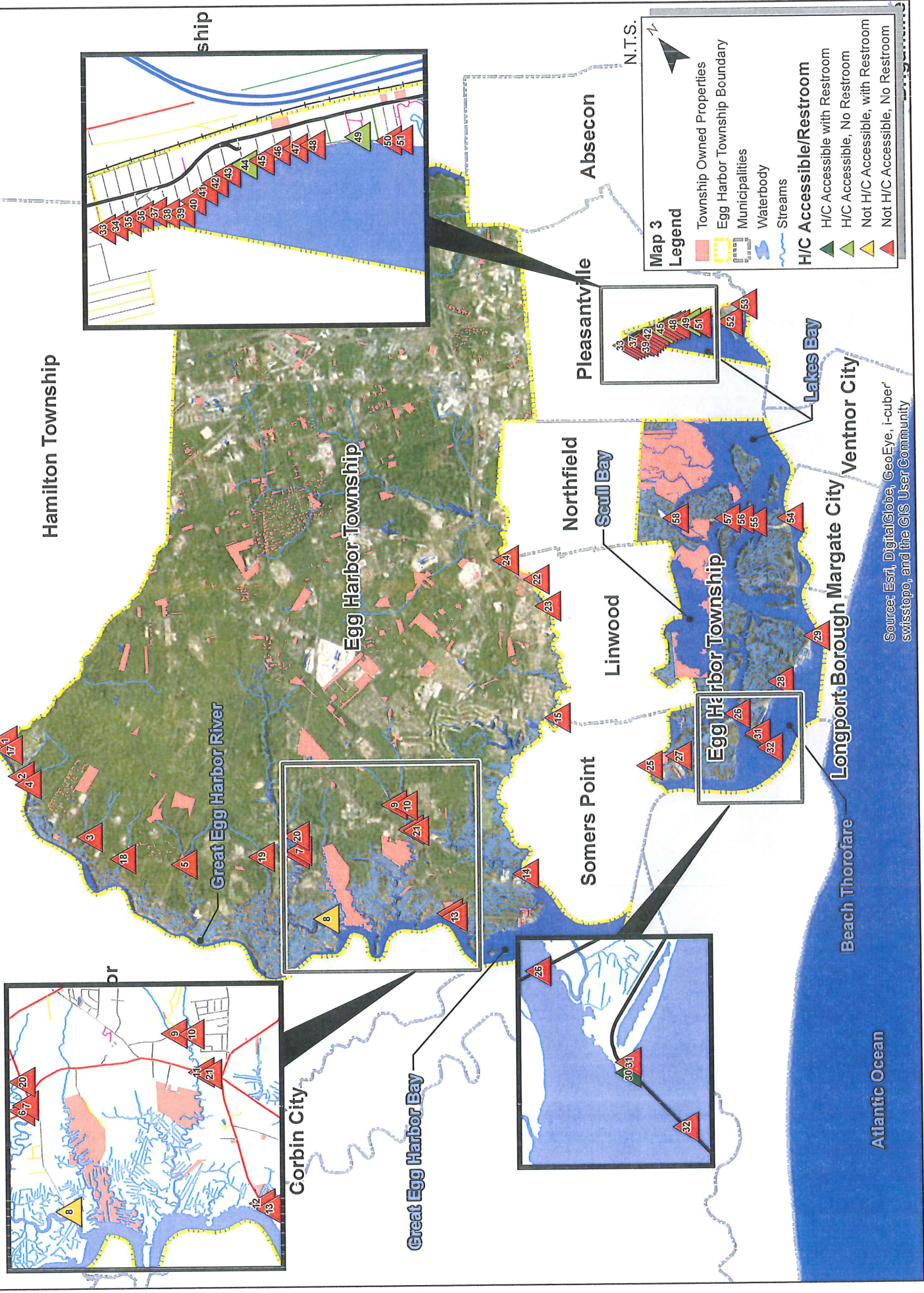
Atlantic Ocean

Source: Esri, DigitalGlobe, GeoEye, i-cubed, swisstopo, and the GIS User Community

Brigantine



# Egg Harbor Township Handicapped Accessible Public Access Locations





## Open Space Database

**Facility Name:** If followed by - DIV = parcel was entirely diverted; if followed by - P/DIV = parcel was partially diverted; and if followed by - COMP = parcel was a compensation piece for previous diversion.

**Interest:** CR: Conservation Restriction; Fee: Fee Simple; Lease: Leased land

**Type:** M - Municipal; C - County; N - Non Profit

**County:** ATLANTIC


**Municipality:** EGG HARBOR TWP

Block	Lot	Facility Name	Interest	Type
1114	12	CHILDS-KIRK PARK	FEE	M
1114	13	CHILDS-KIRK PARK	FEE	M
1114	14	CHILDS-KIRK PARK	FEE	M
1114	15	CHILDS-KIRK PARK	FEE	M
1114	16	CHILDS-KIRK PARK	FEE	M
1114	17	CHILDS-KIRK PARK	FEE	M
1114	26	CHILDS-KIRK PARK	FEE	M
1114	27	CHILDS-KIRK MEMORIAL PARK	FEE	M
1129	32	POLICE ATHLETIC LEAGUE	FEE	M
1211	1	ELM AVENUE PARK	FEE	M
1211	3	ELM AVENUE PARK	FEE	M
1211	33	ELM AVENUE PARK	FEE	M
1309	1	DELILAH OAKS PARK	FEE	M
1607	13	SHIRES PARK	FEE	M
1702	68	JOHN COUCHOUD COMMUNITY CENTER - DIV	FEE	M
1-D	30	GREENTREE	FEE	C
7502	54	EGG HARBOR ENVIR. PARK	FEE	M
2417	6	BROADWAY PARK	FEE	M
2745	1.01	TONY CANALE PARK	FEE	C
2745	1.02	TONY CANALE PARK	FEE	C
2-D	18	RIVERBEND PARK	FEE	C
3201	34.35	TONY CANALE PARK	FEE	M
3201	36	TONY CANALE PARK	FEE	M
3201	43	TONY CANALE PARK	FEE	M
3201	50	TONY CANALE PARK	FEE	M
3-D	3	RIVERBEND PARK/NATHANSON	FEE	C
4901	4	RIVERBEND PARK	FEE	C
4901	51	ESTELL MANOR PARK VETERANS CEMETERY-COMP	FEE	C
4901	66	GREENTREE	FEE	C
4901	70	GREENTREE	FEE	C
4901	71	Polakoff Estate	FEE	C
4901	77	OPEN SPACE	FEE	C
4-F	VX6Y2	RT 152 FISHING PIER	FEE	C
5001	1	Polakoff Estate	FEE	C
5001	25	OPEN SPACE	FEE	C
5101	191	ENGLISH CREEK PARK	FEE	M

5101	258	Terry	FEE	C
5101	271	Cook	FEE	C
5101	59	Our Family United	FEE	C
5101	60	Our Family United	FEE	C
5101	63	GREENTREE	FEE	C
5302	19.01	DELAWARE AVENUE PARK	FEE	M
5302	20.01	DELAWARE AVENUE PARK	FEE	M
5803	28	TOBABEN FARM	FEE	M
5902	2	FERNWOOD	FEE	M
5903	1	TREMONT AVE	FEE	M
5905	4	TREMONT AVE	FEE	M
5906	1	TREMONT AVE	FEE	M
5909	1	TREMONT AVE	FEE	M
5915	1	TREMONT AVE	FEE	M
5925	1	Naame	FEE	M
5925	2	OPEN SPACE	FEE	C
5925	3	OPEN SPACE	FEE	C
5925	4	OPEN SPACE	FEE	C
6101	1.81	LANDGRAF AVE	FEE	M
6101	4	VETERANS MEMORIAL PARK	FEE	M
7301	11	COUCHOUD COMMUNITY CENTER - COMP	FEE	M
7301	5	EHT REGIONAL PARK	FEE	M
7301	6	EHT REGIONAL PARK	FEE	M
7301	7	EHT REGIONAL PARK	FEE	M
7502	35	COUCHOUD COMMUNITY CENTER - COMP	FEE	M
7502	53	COUCHOUD COMMUNITY CENTER - COMP	FEE	M
7502	54	ARBORETUM	FEE	M
7801	55	POWELL CREEK NATURAL AREA	FEE	C
7901	15.01	Molino	FEE	C
7901	2	RIVERBEND PARK/NATHANSON	FEE	C
7901	3	RIVERBEND PARK/NATHANSON	FEE	C
7902	1	Molino	FEE	C
8201	2	RIVERBEND PARK	FEE	C
8201	5	RIVERBEND PARK	FEE	C
8201	6	RIVERBEND PARK	FEE	C
9604	3	WETLAND MITIGATION BANK	FEE	C
9809	1	WHIRLPOOL ISLAND PARK	FEE	C

The above information is the Recreation and Open Space Inventory (ROSI) on file with Green Acres. Please note that Green Acres relies on the accuracy of the information provided to us by the Local Unit(s) in maintaining the accuracy of our database. Since it is the responsibility of the Local Unit(s) to ensure compliance with Green Acres rules, it is strongly recommended that you confirm this information with the Local Unit(s).

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 Department of Environmental Protection  
 P. O. Box 402  
 Trenton, NJ 08625-0402



August 8, 2016

To Whom It May Concern:

I am writing as Administrator for the Township of Egg Harbor regarding natural lands within the Township's ownership. Egg Harbor Township, as both a coastal and inland community, recognizes the importance of preserving land within the floodplain to support natural floodplain functions and to protect private property from flood damage. Various levels of government -- including both Atlantic County and the New Jersey Department of Environmental Protection -- have open space holdings in Egg Harbor Township that account for more than 1,000 acres of open space within the Township's Special Flood Hazard Area. The municipal government of Egg Harbor Township owns more than 1,400 acres of vacant land within the special flood hazard area that it intends to preserve as open space.

As the Township Administrator, I hereby testify that the lands included in the table on the following pages will be held by the Township as open space for the foreseeable future to ensure that private property damage from flood insurance will be mitigated and prevent the development of structures that will be vulnerable to flooding characteristic of the Special Flood Hazard Area. Moreover, the Township has no plans to develop or improve these parcels with permanent structures. Any parcels with existing improvements (such as utility rights-of-way) will be deducted from the open space acreage in the final calculation and point claim. These land holdings can be verified through the Township's zoning map and New Jersey property tax data.

Sincerely,

---

Peter J. Miller, Township Administrator  
Egg Harbor Township, NJ

Attachment: Table 1: Township-Owned Vacant Lands Wholly or Mostly within the Special  
Flood Hazard Area

**Table 1: Township-Owned Vacant Lands Wholly or Mostly within the Special Flood Hazard Area**

Block	Lot	Location	Property Class	Owner	Tax Page Reference	Map Addition	all Lot	Acreage
6901	11.03	384 Steelmanville Road	15C	Egg Harbor Township	69			2.63
7801	52	1348 Mays Landing-SP Road	15C	Egg Harbor Township	78			7.535
7801	61	Betsey Scull Road	15C	Egg Harbor Township	78	p/o		17.342
8201	16	Betsey Scull Road	15C	Egg Harbor Township	82			1.199
8503	25	Mays Landing-SP Road	15C	Egg Harbor Township	85			3.63
8701	18	115 Baker Place Road	15C	Egg Harbor Township	87			362.76
8701	6	Wharf Road	15C	Egg Harbor Township	87			4.45
8801	2	122 Perry Lane	15C	Egg Harbor Township	88			71
8801	20	10 Camelot Court	15C	Egg Harbor Township	88			0.92
8801	23	4 Camelot Court	15C	Egg Harbor Township	88			0.919
8801	14	2 Camelot Court	15C	Egg Harbor Township	88			1.109
8901	23	209 Jeffers Landing Road	15C	Egg Harbor Township	89			1.245
8901	13	151 Jeffers Landing Road	15C	Egg Harbor Township	89			1.001
8901	6	Jeffers Landing Road	15C	Egg Harbor Township	89			4.64
8901	6	Jeffers Landing Road	15C	Egg Harbor Township	91			4.64
9101	37	2 Jobs Point Road	15C	Egg Harbor Township	91			4.76
9101	38	200 Jeffers Landing Road	15C	Egg Harbor Township	91			8.97
9101	12	31 Somers Avenue	15C	Egg Harbor Township	91			1.037
9304	2	11 Jones Avenue	15C	Egg Harbor Township	93			1.791
9305	2	Jones Avenue	15C	Egg Harbor Township	93			1.286
9305	4	Creek Road	15C	Egg Harbor Township	93			0.184
9308	1	6 Hill Avenue	15C	Egg Harbor Township	93			0.193
9309	1	2 Hill Avenue	15C	Egg Harbor Township	93			0.17
9310	1	6 Bethune Avenue	15C	Egg Harbor Township	93			1.006
9312	1	1 Bethune Avenue	15C	Egg Harbor Township	93			2.207
9312	2	101 Morris Avenue	15C	Egg Harbor Township	93			0.926

**Table 1: Township-Owned Vacant Lands Wholly or Mostly within the Special Flood Hazard Area**

Block	Lot	Location	Property Class	Owner	Tax Page	Map	Addition al Lot	Acreage
Reference								
9607	2	Longport Boulevard	15C	Egg Harbor Township	96		9610/4	55.67
9610	1	Longport Boulevard	15C	Egg Harbor Township	96		9709/2	47.579
9610	2	Margate Blvd	15C	Egg Harbor Township	96		9709/1; 9710/1	200.12
9702	1	Margate Blvd	15C	Egg Harbor Township	97			12.668
9702	1	Margate Blvd	15C	Egg Harbor Township	97			12.67
9703	3	Margate Blvd	15C	Egg Harbor Township	97			34.96
9801	1	Margate Blvd	15C	Egg Harbor Township	98		9801/6	562.09
9802	1	Margate Blvd (Point Island)	15C	Egg Harbor Township	98			7.061
9807	2	Winkel Island	15C	Egg Harbor Township	98			17.382

Note: Exact acreages for parcels (in particular the larger parcels) are subject to change following verification of tax maps and parcel geometry.



## Reference Section 1

### Municipal Goals, Elements and Policies

#### **40:55D-2. Purpose of the act**

It is the intent and purpose of this act:

- a. To encourage municipal action to guide the appropriate use or development of all lands in this State, in a manner which will promote the public health, safety, morals, and general welfare;
- b. To secure safety from fire, flood, panic and other natural and man-made disasters;
- c. To provide adequate light, air and open space;
- d. To ensure that the development of individual municipalities does not conflict with the development and general welfare of neighboring municipalities, the county and the State as a whole;
- e. To promote the establishment of appropriate population densities and concentrations that will contribute to the well-being of persons, neighborhoods, communities and regions and preservation of the environment;
- f. To encourage the appropriate and efficient expenditure of public funds by the coordination of public development with land use policies;
- g. To provide sufficient space in appropriate locations for a variety of agricultural, residential, recreational, commercial and industrial uses and open space, both public and private, according to their respective environmental requirements in order to meet the needs of all New Jersey citizens;
- h. To encourage the location and design of transportation routes which will promote the free flow of traffic while discouraging location of such facilities and routes which result in congestion or blight;
- i. To promote a desirable visual environment through creative development techniques and good civic design and arrangement;
- j. To promote the conservation of historic sites and districts, open space, energy resources and valuable natural resources in the State and to prevent urban sprawl and degradation of the environment through improper use of land;
- k. To encourage planned unit developments which incorporate the best features of design and relate the type, design and layout of residential, commercial, industrial and recreational development to the particular site;
- l. To encourage senior citizen community housing construction;
- m. To encourage coordination of the various public and private procedures and activities shaping land development with a view of lessening the cost of such development and to the more efficient use of land;
- n. To promote utilization of renewable energy resources; and
- o. To promote the maximum practicable recovery and recycling of recyclable materials from municipal solid waste through the use of planning practices designed to incorporate the State Recycling Plan goals and to complement municipal recycling programs.

#### Master Plan Elements - Required

- Statement of Purpose C.40:55D-28B(1)
- Land Use Element C.40:55D-28B(2)
- Housing Plan Element C.52:27D-310 (Addendum to C.40:55D-28B(3))
- Relationship with Other Plans C.40:55D-28D

#### Master Plan Elements – Optional C.40:55D-28B

- Circulation Plan (including Bicycle/Pedestrian Plan)
- Utility Service Plan
- Community Facilities Plan
- Recreation Plan ( sometimes combined with Open Space)
- Conservation Plan ( sometimes combined with Open Space)
- Economic Plan
- Historic Preservation Plan
- Recycling Plan
- Farmland Preservation Plan
- Sustainability Plan
- Tourism Plan

## Reference Section 2

### Potential Needs Assessment Approaches

#### **Simple Process**

Create committee to handle needs assessment (temporary planning board sub-committee)

Review Inventory of existing facilities

Prepare list of local and regional stakeholders

Engage stakeholders and request input on potential needs being addressed and not being addressed

Compare needs with existing facilities

Hold public review of comparison at Planning Board meeting for general public input.

Record and review input at mtg.

Review opportunities for municipal improvements, non-municipal improvements and existing facilities in surrounding communities.

Prepare report on needs assessment for use in MPAP with suggestions on possible solutions.

#### **Extended Process**

Create committee to handle needs assessment (MPAP committee with members of Planning Board and or other municipal boards, residents, non-residents and associations)

Review Inventory of existing facilities

Prepare list of local and regional stakeholders

Expand committee as needed to incorporate critical stakeholder groups

Hold public forum and engage stakeholders for input on potential needs being addressed or not being addressed

Consider online survey of needs through survey monkey or constant contact distributions

Compare needs with existing facilities

Hold public review of comparison at Planning Board meeting for general public input.

Record and review input at mtg.

Review opportunities for municipal improvements, non-municipal improvements and existing facilities in surrounding communities.

Prepare report on needs assessment for use in MPAP with suggestions on possible solutions

NOAA Coastal Service Center

Conducting Needs Assessment s, <http://www.csc.noaa.gov/training/needs-assessment.html>

Online self-guided course for conducting needs assessments